



EDINBURG CISD

PURCHASING DEPARTMENT

411 N. 8th Ave., Edinburg, TX 78541
(956) 289-2311, (956) 38-7687

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Dr. Mario H. Salinas, Superintendent

ADDENDUM 1

CSP 23-27

GYMNASIUM ADDITIONS/IMPROVEMENTS FOR CAVAZOS & TREVINO ELEMENTARY SCHOOLS

November 9, 2022

I. INSTRUCTIONS:

A. The following changes, omissions or alterations to the specification and drawings shall be made insofar as the specifications and drawings are inconsistent with following, this addendum shall govern.

B. Acknowledge receipt of this addendum by inserting its number and date of issue in the place provided for same in the proposal. This addendum forms a part of the Contract Documents.

C. It is imperative that this addendum be inserted INTO set of specifications.

II. SEE ADDENDUM BELOW:

PLEASE SEE ATTACHED:

Respectfully Submitted,

Amaro Tijerina
Director of Purchasing

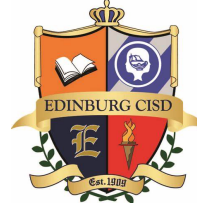
(Signature of authorized officer)

Date

Company Name

Nondiscrimination Statement

It is the policy of Edinburg CISD not to discriminate on the basis of gender, age, handicap, religion, race, color, or national origin in its educational programs.
Es política del Distrito Escolar de Edinburg el no discriminar por razones con base en género, edad, religión, raza, color origen nacional, ni discapacidad dentro de sus programas educacionales.



ADDENDUM NO: ONE (1)

TO THE BID DOCUMENTS FOR:

**EDINBURG CISD
TREVINO ELEMENTARY GYM
ADDITIONS AND IMPROVEMENTS**

NOVEMBER 8, 2022

CG5 ARCHITECT LLC

1314 E 22ND ST
MISSION, TX 78572

11/8/22

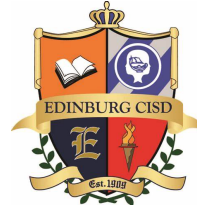


BID DATE & TIME: BID DATE AND TIME UNCHANGED
BID DATE AND TIME: NOVEMBER 11TH, 2022, 4:30PM

This addendum is generally separated into sections for convenience. All Contractors, Subcontractors, Materialmen, and/or other parties interested in submitting a bid/proposal shall be responsible for reading and understanding the entire addendum. All information presented in any place or any time in this addendum shall be attached to and become a part of the Contract Documents for this project.

A. REQUEST FOR CLARIFICATION ITEMS:

1. RFI: Is Davis-Bacon required for this project?
RESPONSE: Davis-Bacon is not applicable for this project.
2. RFI: Are the projects for each Architect to be bid together or separate?
RESPONSE: The projects for gym renovations and additions at Cavazos Elementary and Trevino Elementary are to be bid and submitted to Edinburg CISD as two individual projects with two independent bid submittals using the bid forms and documents included in each Project Manual. The projects at Cavazos and Trevino Elementaries shall not be submitted as one project.
3. RFI: Are two different bid bonds required for Cavazos and Trevino Elementary projects?
RESPONSE: YES, a bid bond is required for each project submitted individually. The Bid Bond and required forms must be included in each submitted bid proposal package pertaining to that specific project.

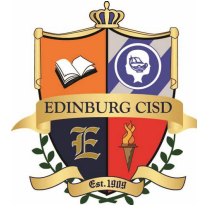


B. PROJECT MANUAL / SPECIFICATION ITEMS:

1. SECTION 012100 ALLOWANCES
 - a. At Part 3.3.A Allowance No. 1 – Contingency Allowance delete the text referencing the allowance of \$45,000.00 and change to the following:
 - A. Allowance No. 1 – Contingency Allowance of \$25,000.00 for use according to the Architect and/or Owner's written instructions.
2. SECTION 012200 UNIT PRICES
 - a. Add SECTION 012200 UNIT PRICES to the PROJECT MANUAL as included herewith.

C. PLAN DRAWING ITEMS:

1. SHEET A0.1 EXISTING CONDITIONS & DEMO (INCLUDED HEREWITH)
 - a. At EXISTING KEYNOTES, add keynote "(E12) EXISTING INTERIOR WALL FRAMING, WALL PANEL, WALL TRIM, AND EXISTING WALL INSULATION TO REMAIN"
 - b. At EXISTING KEYNOTES, add keynote "(E13) EXISTING CEILING INSULATION AND SUPPORT SYSTEM TO REMAIN"
 - c. At detail 6/A1.0 delete note "DEMOLISH AND REMOVE EXISTING INTERIOR WOOD PANELING AS REQUIRED FOR NEW WALL FINISH AND NEW CONDUIT AND ELECTRICAL AS REQ., REFER TO MEP" and replace with, "REMOVE AND SALVAGE INTERIOR WOOD SIDING PANELS WHERE REQUIRED, REINSTALL PER NEW PLAN"
 - d. At EXISTING CONDITIONS pictures, add keynotes (D3) and (E12)
 - e. At 3/A0.1 DEMO PLAN, add keynotes (D3) and (E12) to EXISTING GYM AREA north, east, and south walls.
 - f. At DEMOLITION KEYNOTES, modify keynotes (D1) and (D16) to read "NOT USED".
2. SHEET A2.0 NEW FLOOR PLAN (INCLUDED HEREWITH)
 - a. Add notes "ALL EXISTING WALL PANELS AND WOOD TRIM TO EXPOSED TO VIEW TO BE REPAINTED", add this note at gym north, east, and south walls.
 - b. Add note "ALL EXISTING PANELS AND WOOD TRIM EXPOSED TO VIEW TO BE PAINTED OR REPAINTED, EXISTING WALL PANELS TO REMAIN EXCEPT AT NEW OPENINGS, PROVIDE NEW 1x WOOD TRIM AT ALL NEW OPENINGS BOTH SIDES", add this note at gym west wall.
 - c. Delete ALTERNATE SCHEDULE. This project shall not have any alternates, all work identified in drawings shall be included in Base Bid.

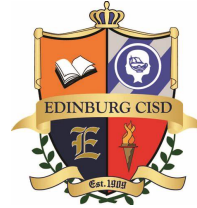


3. SHEET A4.0 BUILDING SECTIONS (INCLUDED HEREWITH)
 - a. At Sections 1/A4.0, 2/A4.0, and 3/A4.0 modify notes as shown for “R-19 BATT INSULATION REFER TO ALTERNATE NO 1” and replace with note “EXISTING INSULATION TO REMAIN”
 - b. At Sections 1/A4.0, 2/A4.0, and 3/A4.0 delete notes “EXISTING STRUCTURE TO BE RE-PAINTED” and replace with the note “EXISTING STRUCTURE TO REMAIN”
 - c. AT Sections 1/A4.0, 2/A4.0, and 3/A4.0 delete notes “BASE TRIM AS SCHEDULED”
4. SHEET A4.2 WALL SECTIONS AND DETAILS (INCLUDED HEREWITH)
 - a. At wall section 2/A4.2 delete note “REPLACE EXISTING SHEATHING PANEL OVER EXISTING WALL FRAMING REPLACE WITH NEW SHEATHING PANEL REFER TO SPECS” and replace with note “EXISTING SHEATHING PANEL OVER EXISTING WALL FRAMING”
 - b. At wall section 4/A4.2 modify wall section as shown and update notes as shown
5. SHEET A5.2 INTERIOR ELEVATIONS (INCLUDED HEREWITH)
 - a. Delete entire sheet A5.2 and replace with sheet A5.2 included herewith
6. SHEET A6.0 DOOR & WINDOW SCHEDULES
 - a. At DOOR HARDWARE SET DH1 and DH2 add the following:

1 – DOOR CLOSURE, SURFACE MOUNTED
7. SHEET E2.0 ELECTRICAL PLAN (INCLUDED HEREWITH)
 - a. Delete entire sheet E2.0 and replace with sheet E2.0 included herewith
 - b. Added circuit for sound
 - c. Added circuit for IDF
 - d. Added pipe for fiber
8. SHEET E3.0 SCHEDULES AND LOADS I
 - a. Panel LA-add 20A breaker to circuit 20 with 1000 watts load for “RECEPT SOUND”
 - b. Panel LA-add 20A breaker to circuit 22 with 1800 watts load for “RECEPT ISO GND IDF”

D. OTHER ITEMS:

1. Electrical General Note for GYMNASIUM SPEAKER infrastructure:



-
- a. At all conduit runs, provide conduit ends facing up and not into the gymnasium or office space.
 - b. Provide J-boxes at corners of gymnasium high and tight to all four corners for use by Owner for gymnasium speakers. Provide $\frac{3}{4}$ " conduit from speaker J-boxes to adjacent of coaches door at 48" A.F.F.
 - c. Provide duplex electrical outlet and required power supply wiring and conduit to panel adjacent to coach office door for Owner speaker system use.

END OF ADDENDUM NO 1

SECTION 012200 - UNIT PRICES

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes administrative and procedural requirements for unit prices.
- B. Related Requirements:
 - 1. Section 012600 "Contract Modification Procedures" for procedures for submitting and handling Change Orders.
 - 2. Section 014000 "Quality Requirements" for general testing and inspecting requirements.

1.3 DEFINITIONS

- A. Unit price is **an amount incorporated in the Agreement, applicable during the duration of the Work** as a price per unit of measurement for materials, equipment, or services, or a portion of the Work, added to or deducted from the Contract Sum by appropriate modification, if the scope of Work or estimated quantities of Work required by the Contract Documents are increased or decreased.

1.4 PROCEDURES

- A. Unit prices include all necessary material, plus cost for delivery, installation, insurance, overhead, and profit.
- B. Measurement and Payment: See individual Specification Sections for work that requires establishment of unit prices. Methods of measurement and payment for unit prices are specified in those Sections.
- C. Owner reserves the right to reject Contractor's measurement of work-in-place that involves use of established unit prices and to have this work measured, at Owner's expense, by an independent surveyor acceptable to Contractor.
- D. List of Unit Prices: A schedule of unit prices is included in Part 3. Specification Sections referenced in the schedule contain requirements for materials described under each unit price.

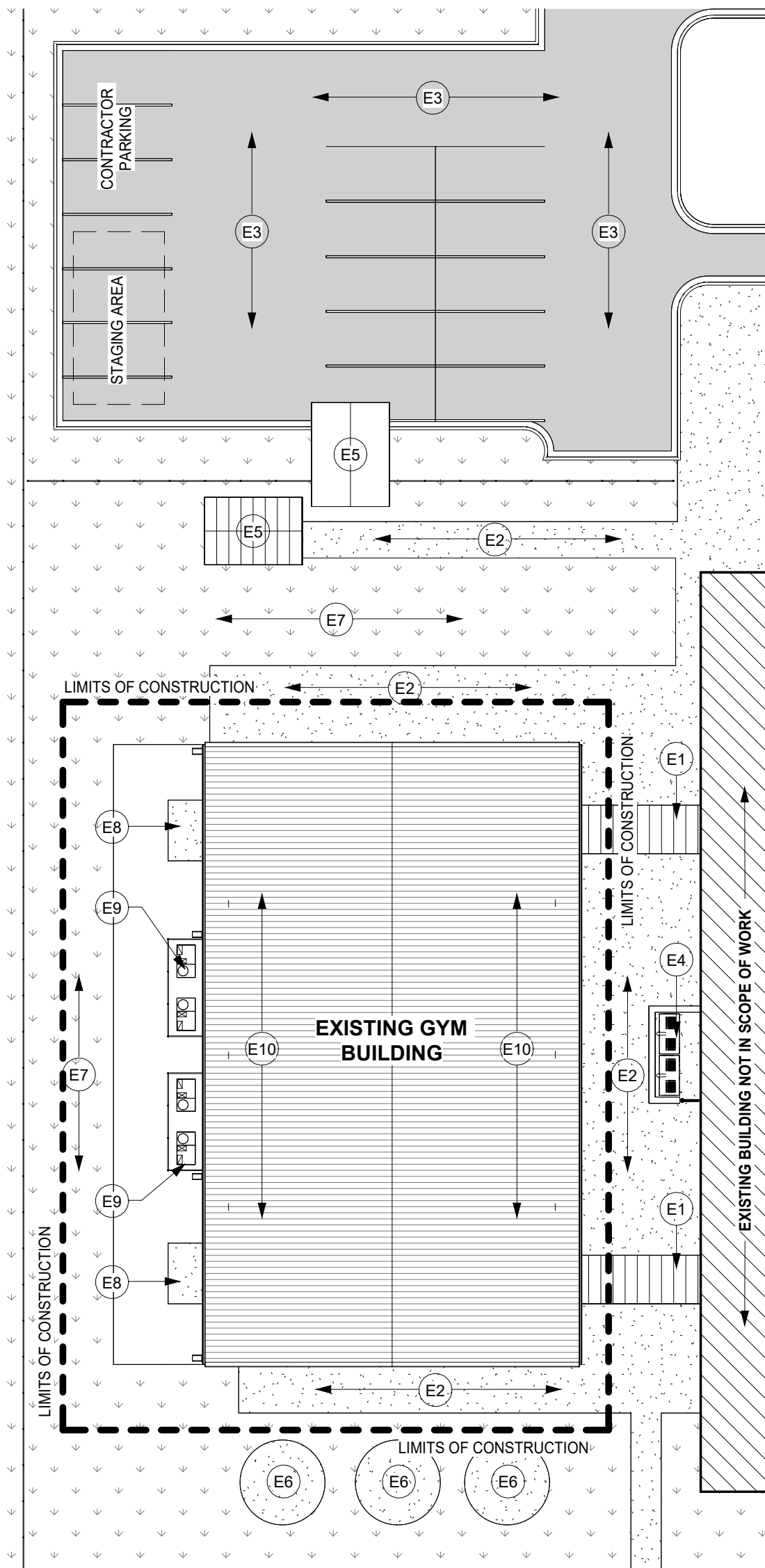
PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 SCHEDULE OF UNIT PRICES

- A. Unit Price 1: Replace existing T1-11 wood paneling and framing that are damaged or deteriorated by cause of termite and/or water damage. The T1-11 wood panel size and framing shall match existing.
1. Description: Furnish the entire Unit Price, including overhead and profit for replacing existing with new T1-11 wood panel and framing to match existing in the event damage and / or deterioration is encountered as cause of termite and/or damage, as noted in the General Notes, and shown on Drawings. The unit priced shall be dollars (\$) per square foot for all wall areas in the contract area shown on the drawings. Enter unit price on Bid Form.
 2. Unit of Measure: Square Foot (SF)
 3. Unit Price \$ [] (USD)

END OF SECTION 012200

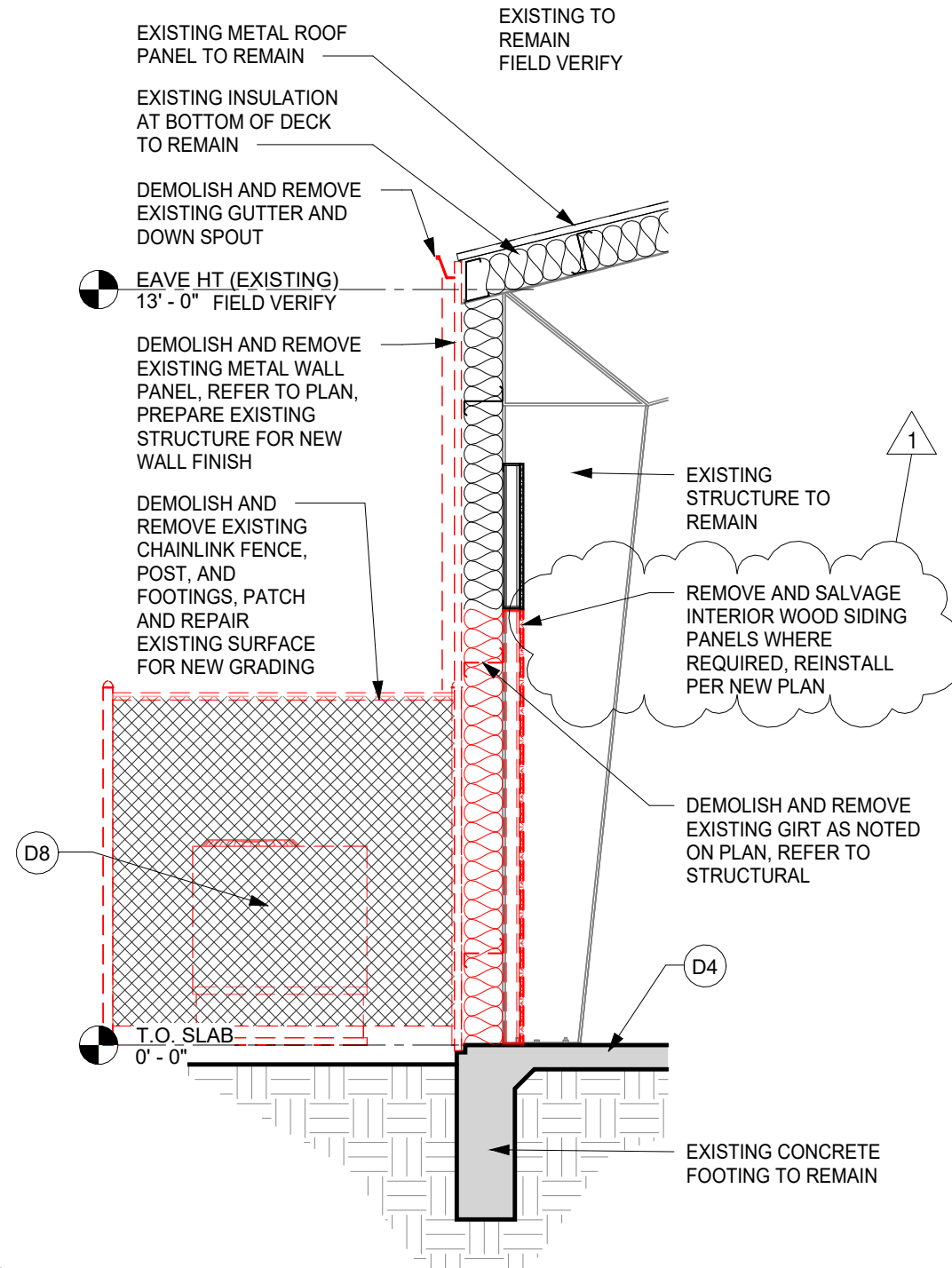


2 ENLARGED EXISTING SITE PLAN
1" = 20'-0"

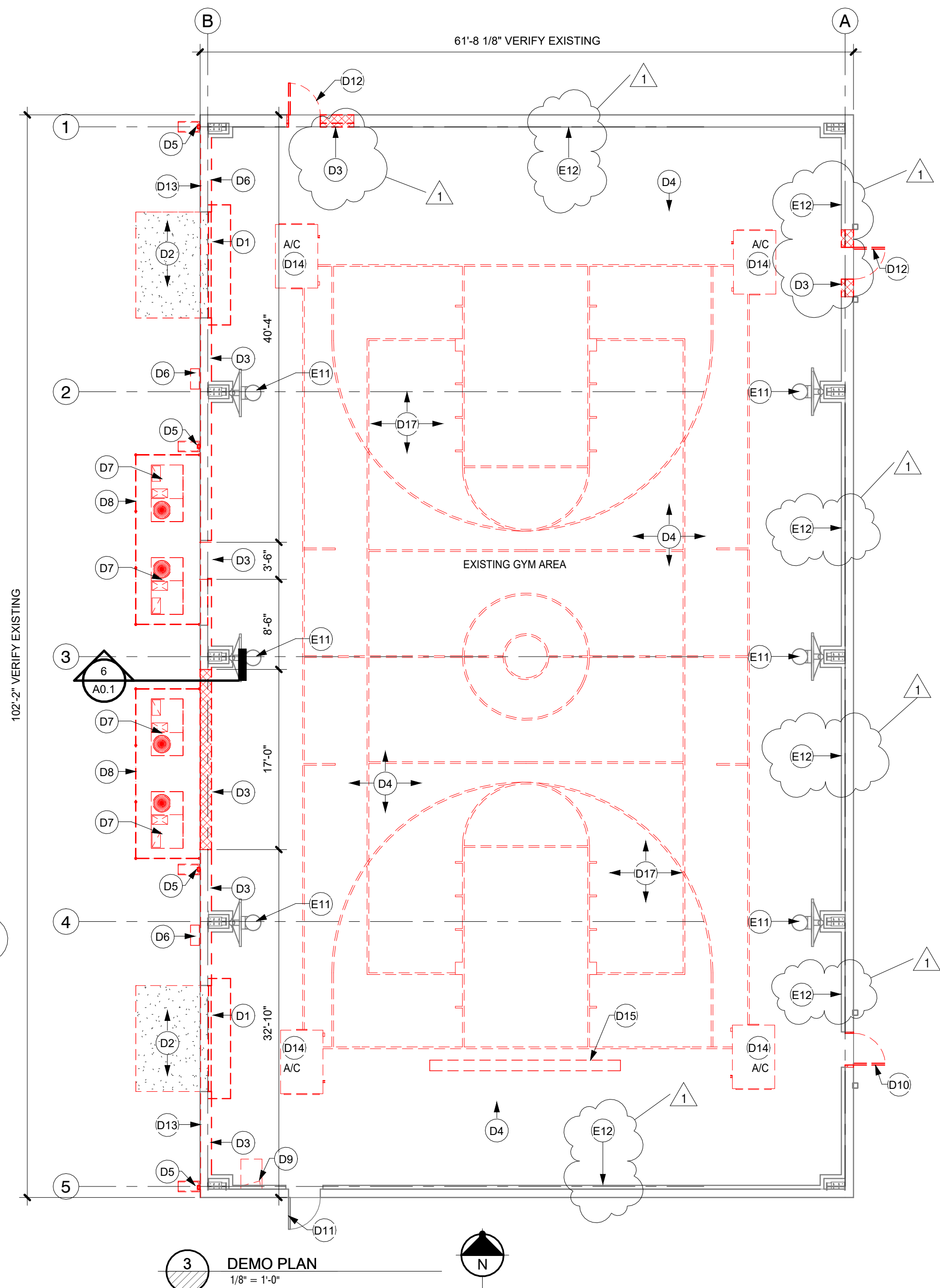


EXISTING KEYNOTES

- E1 EXISTING CANOPIES TO REMAIN
- E2 EXISTING CONCRETE SIDEWALK TO REMAIN
- E3 EXISTING STAFF PARKING TO REMAIN
- E4 EXISTING MECHANICAL AREA TO REMAIN
- E5 EXISTING BUILDING STRUCTURE TO REMAIN
- E6 EXISTING CONCRETE TETHERBALL INTERACTIVE AREA TO REMAIN
- E7 LANDSCAPING TO REMAIN
- E8 EXISTING CONCRETE SLAB, REFER TO DEMO PLAN
- E9 EXISTING HVAC UNITS, REFER TO DEMO PLAN
- E10 EXISTING GYM BUILDING REFER TO NEW FLOOR PLAN
- E11 EXISTING BASKETBALL HOOP AND BACKBOARD TO REMAIN
- E12 EXISTING INTERIOR WALL FRAMING, WALL PANEL, WALL TRIM, AND EXISTING WALL INSULATION TO REMAIN
- E13 EXISTING CEILING INSULATION AND SUPPORT SYSTEM TO REMAIN



6 DEMO WALL SECTION
3/8" = 1'-0"

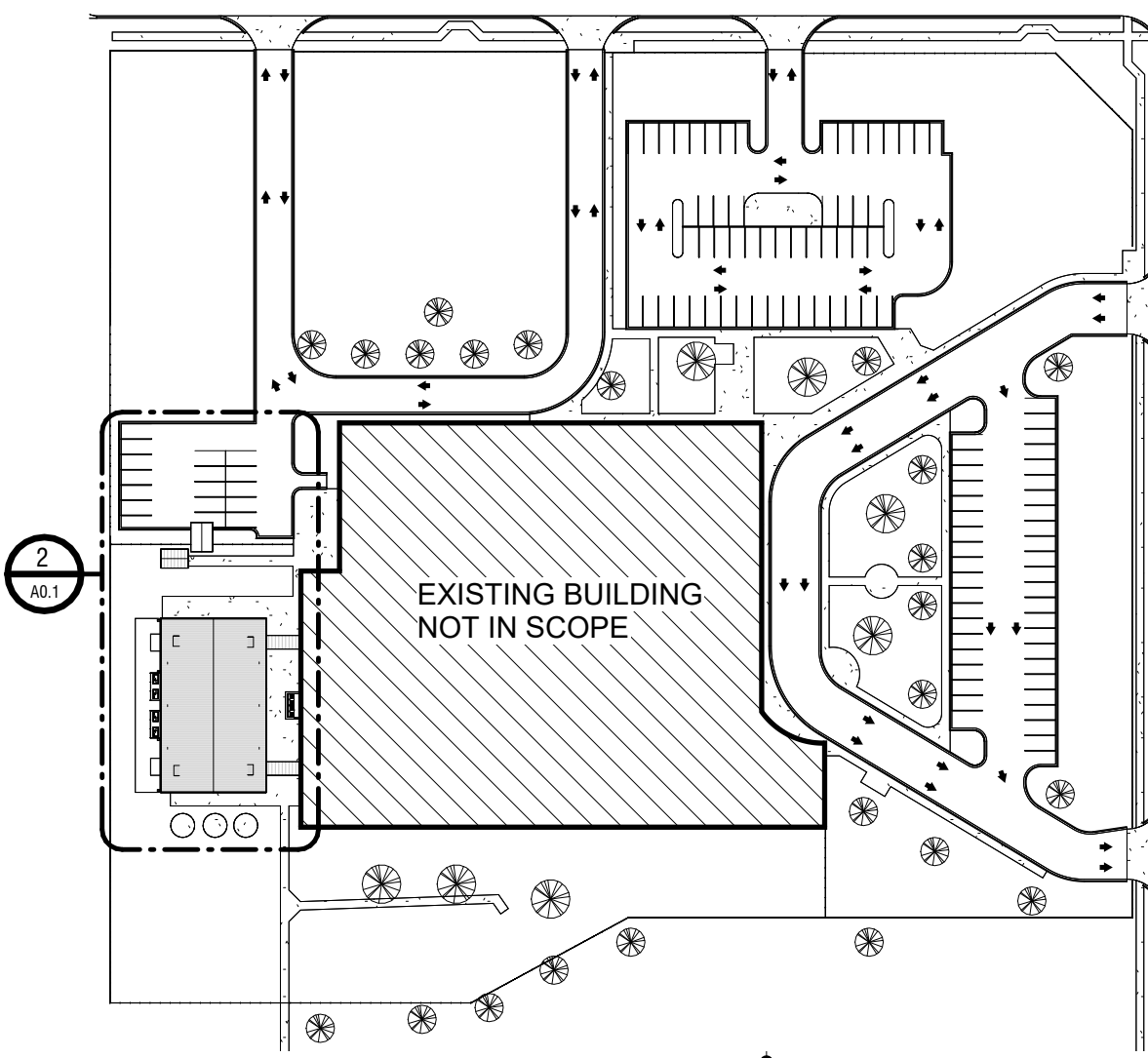


3 DEMO PLAN
1/8" = 1'-0"

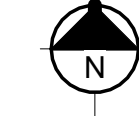


W SPRAGUE

MON MACK RD



1 EXISTING OVERALL SITE PLAN
1" = 100'-0"



DEMOLITION GENERAL NOTES

1. GENERAL CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE THEMSELVES WITH THE SCOPE OF WORK AND TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO BIDDING THIS PROJECT. ANY DISCREPANCIES OR AMBIGUOUS ITEMS MUST BE REPORTED TO THE ARCHITECT PRIOR TO BIDDING OR COMMENCING WORK FOR CLARIFICATION.
2. REFER TO CIVIL, STRUCTURAL, & MEP DRAWINGS, IF APPLICABLE FOR ADDITIONAL DEMOLITION AND ALTERATION NOTES.
3. THE OWNER HAS FIRST RIGHT OF SALVAGE OF ALL FIXTURES, EQUIPMENT, & BUILDING MATERIALS REMOVED AS PART OF THIS CONTRACT, AND SHALL NOT BE REUSED IN THE NEW CONSTRUCTION UNLESS OTHERWISE NOTED OR DIRECTED IN WRITING. REMOVE ALL OTHER DEBRIS AND WASTE FROM THE SITE AND DISPOSE OF PROPERLY, IN ACCORDANCE WITH FEDERAL, STATE, & LOCAL REGULATIONS.
4. FIELD VERIFY LOCATIONS OF ALL EXISTING EXTERIOR PUBLIC ADDRESS SPEAKERS, INTERCOM SPEAKERS, PLUGS, SWITCHES, HOSE BIBS, LIGHTS AND CONTROLS PRIOR TO DEMOLITION. THESE SYSTEMS MUST BE PUT BACK IN ORIGINAL AND FUNCTIONING CONDITION AFTER NEW CONSTRUCTION IS COMPLETE. REPLACE, PATCH, OR REPAIR ANY DAMAGED EXISTING COMPONENTS OR SYSTEMS, WHICH ARE INTERRUPTED OR DISTURBED.
5. CUTTING & PATCHING: PROVIDE MATERIALS FOR CUTTING & PATCHING WHICH WILL RESULT IN EQUAL OR BETTER WORK THAN THAT BEING CUT OR PATCHED.
6. ANY EXISTING CONSTRUCTION THAT IS TO BE REMOVED, SHALL BE REMOVED CAREFULLY SO AS NOT TO DAMAGE ANY EXISTING CONSTRUCTION THAT IS TO REMAIN.

DEMOLITION KEYNOTES

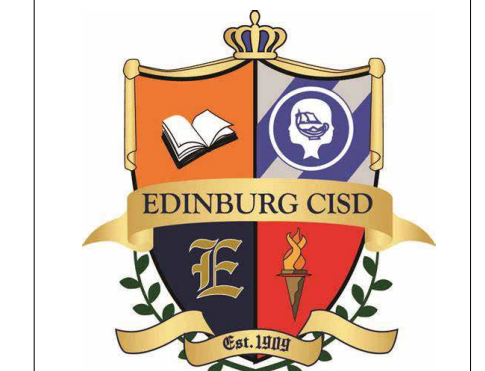
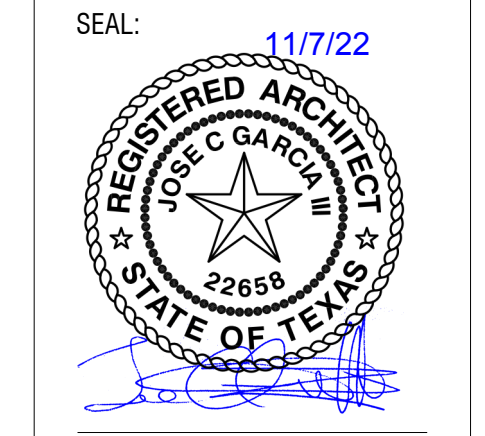
- D1 REMOVE AND SALVAGE EXISTING METAL OVERHEAD DOOR AND HARDWARE, RETURN TO OWNER. REMOVE STRUCTURAL SUPPORT COMPONENTS.
- D2 DEMOLISH AND REMOVE EXISTING CONCRETE FLATWORK.
- D3 INTERIOR SIDE OF WALL: DEMOLISH & REMOVE EXISTING WALL PANEL, CONTRACTOR TO COORDINATE WITH STRUCTURAL FOR REMOVAL AND CUTTING OF EXISTING WALL GIRTS AND FRAMING FOR NEW OPENINGS, AS REQUIRED. REMOVE AND RELOCATE EXISTING WALL MOUNTED ACCESSORIES (CONDUIT, SPECIAL SYSTEMS, ELECTRICAL, MECHANICAL INFRASTRUCTURE) IN CONFLICT WITH NEW SCHEDULED OPENINGS; REFER: MEP FOR ADDITIONAL INFORMATION; PREPARE EXISTING WALL FOR NEW WALL PANEL FINISH.
- D4 REMOVE EXISTING FLOOR FINISH AND STRIPING, PREPARE CONCRETE FLOOR FOR NEW FLOOR FINISH, REFER TO ROOM FINISH SCHEDULE.
- D5 DEMOLISH AND REMOVE EXISTING GUTTER AND DOWNSPOUT AND CONCRETE SPLASH BLOCK.
- D6 DEMOLISH, REMOVE, AND SALVAGE EXISTING EXTERIOR LIGHTING AND WALL MOUNTED ACCESSORIES, TERMINATE EXISTING ELECTRICAL AS REQUIRED PER CODE, AND RE ROUTE TO NEW LOCATION AS PER OWNER. PROVIDE WALL MOUNTED ITEM IN WORKING IN TIE TO RELEVANT SYSTEM.
- D7 DEMOLISH AND REMOVE EXISTING HVAC UNITS REFER TO MEP FOR PROPER TERMINATION OF EXISTING REFRIGERANT LINES AND ELECTRICAL COMPONENTS.
- D8 DEMOLISH AND REMOVE EXISTING CHAINLINK FENCE, POST, AND FOOTINGS, PATCH/REPAIR EXISTING GRADE FOR NEW GRADING OR LANDSCAPING AS REQUIRED.
- D9 EXISTING ELECTRICAL PANEL TO BE REMOVED AND RELOCATED AS PER NEW PLAN, REFER TO MEP.
- D10 DEMOLISH AND REMOVE EXISTING HOLLOW METAL DOOR AND DOOR FRAME, PREPARE OPENING FOR NEW DOOR AND FRAME AS SCHEDULED.
- D11 EXISTING DOOR AND FRAME TO REMAIN, CONTRACTOR TO CLEAN AND PREP DOOR AND FRAME FOR NEW PAINT, DOOR HARDWARE TO BE REMOVED AND/OR UPGRADED AS REQUIRED PER OWNER.
- D12 DEMOLISH AND REMOVE EXISTING DOOR AND DOOR FRAME, DEMO AND REMOVE ADJACENT WALL PANELS AND STRUCTURAL FRAMING TO ACCOMMODATE NEW DOUBLE DOOR AND DOUBLE DOOR FRAME AS SCHEDULED.
- D13 EXTERIOR SIDE OF WALL: DEMOLISH AND REMOVE EXISTING METAL WALL PANELS, PREPARE EXISTING STRUCTURE FOR NEW WALL PANELS AND NEW PLAN LAYOUT, REFER TO STRUCTURE FOR ADDITIONAL INSTRUCTIONS.
- D14 DEMOLISH AND REMOVE EXISTING MECHANICAL EQUIPMENT SUSPENDED FROM STRUCTURE, REMOVE ALL SUPPORTING STRUCTURE AND CONNECTED ELECTRICAL ITEMS.
- D15 DEMOLISH, REMOVE, AND SALVAGE EXISTING PROJECTOR, AND RE ROUTE TO NEW LOCATION AS PER OWNER.
- D16 NOT IN USE.
- D17 DEMOLISH AND REMOVE EXISTING LIGHTING FIXTURE, PREPARE CONDUIT/ELECTRICAL FOR NEW FIXTURE.

DEMOLITION LEGEND

- ITEM TO BE DEMOLISHED
- ITEM TO REMAIN



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NORMA LINDA
TREVINO
ELEMENTARY
SCHOOL
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ADDITIONS/
IMPROVEMENTS**

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RD, EDINBURG,
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CLIENT:
EDINBURG CISD

REVISION:
1 ADDENDUM 1 11-7-2022

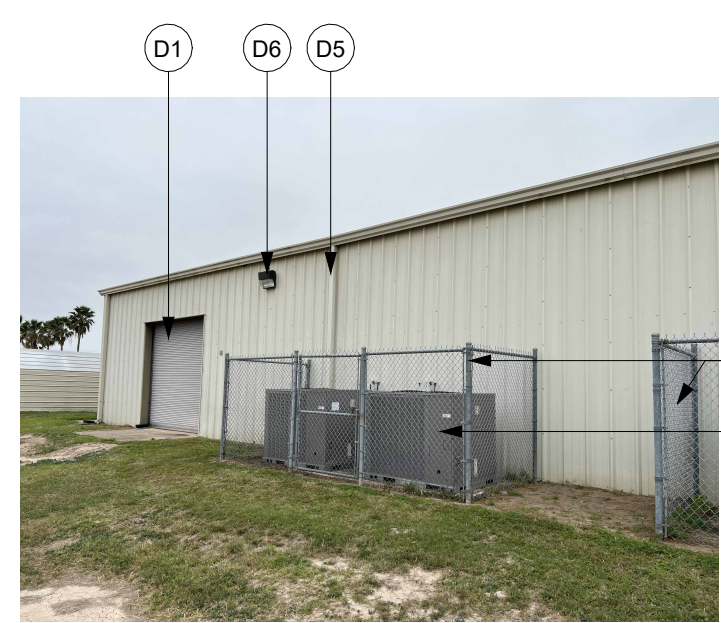
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DRAWN BY: LF MG HM
CHECKED BY: Checker
DATE: 11-7-2022

**EXISTING
CONDITIONS &
DEMO**

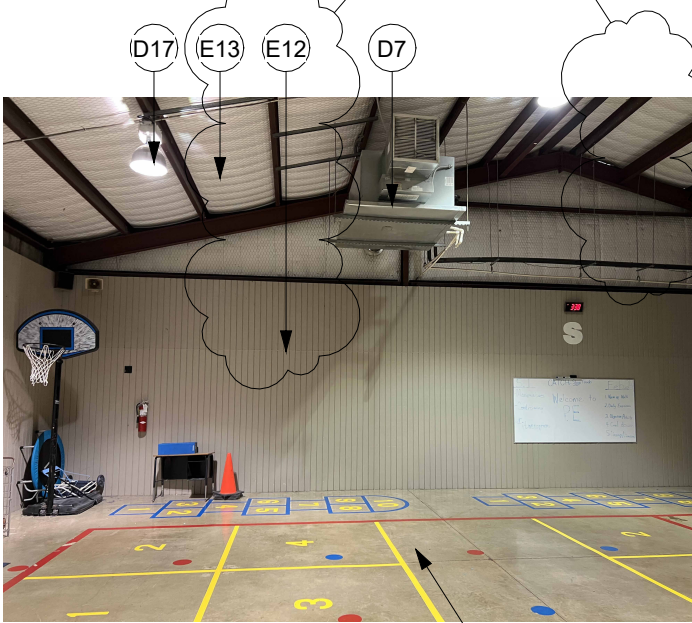
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PICTURE 1



PICTURE 2

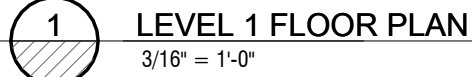


PICTURE 3

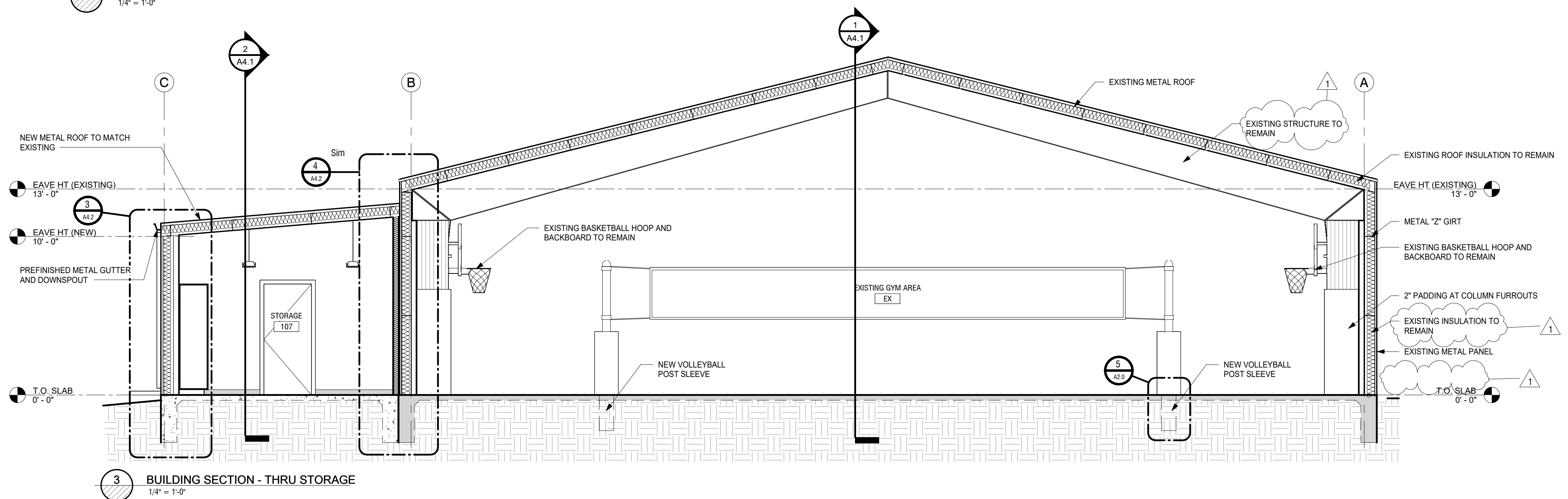
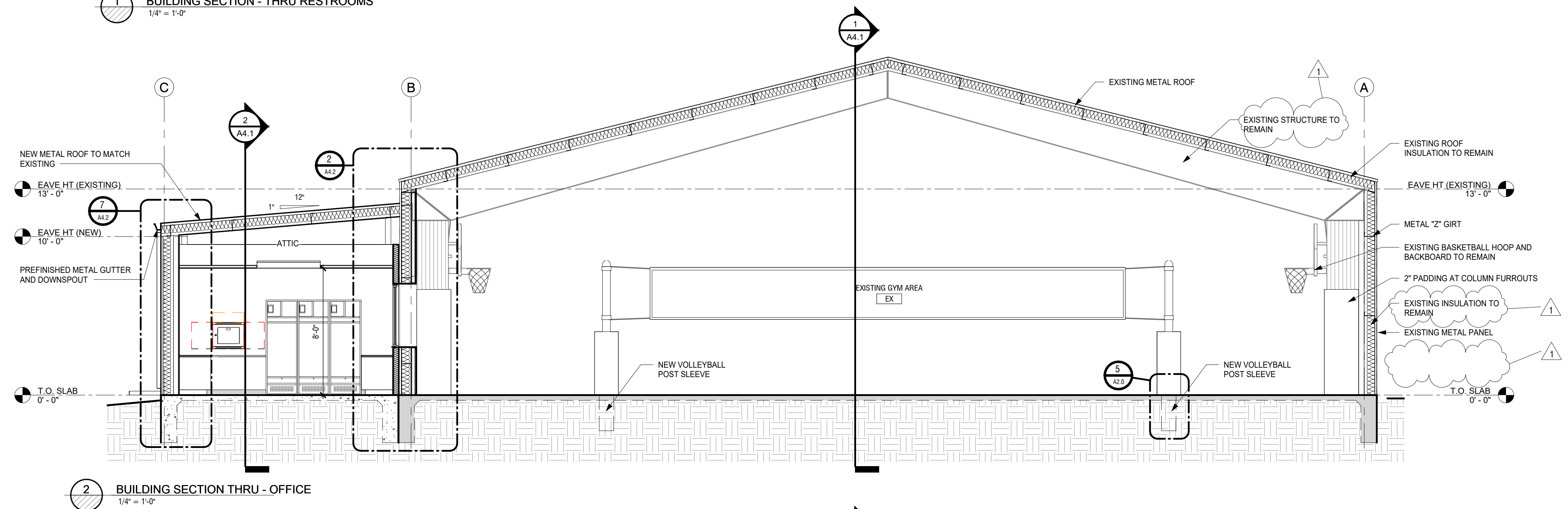
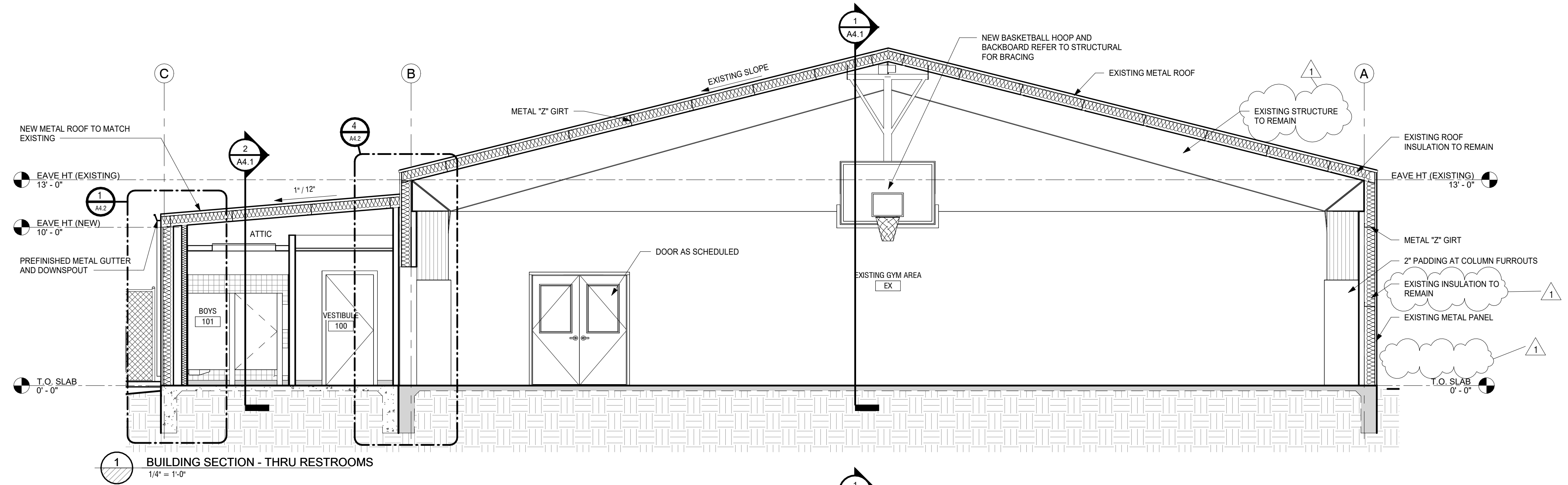


PICTURE 4

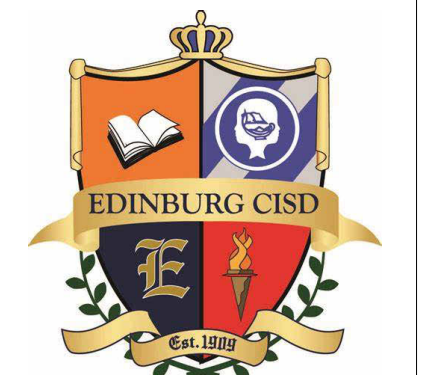
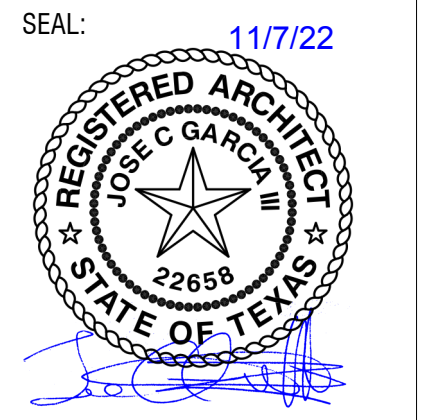
EXISTING CONDITIONS



A2.0



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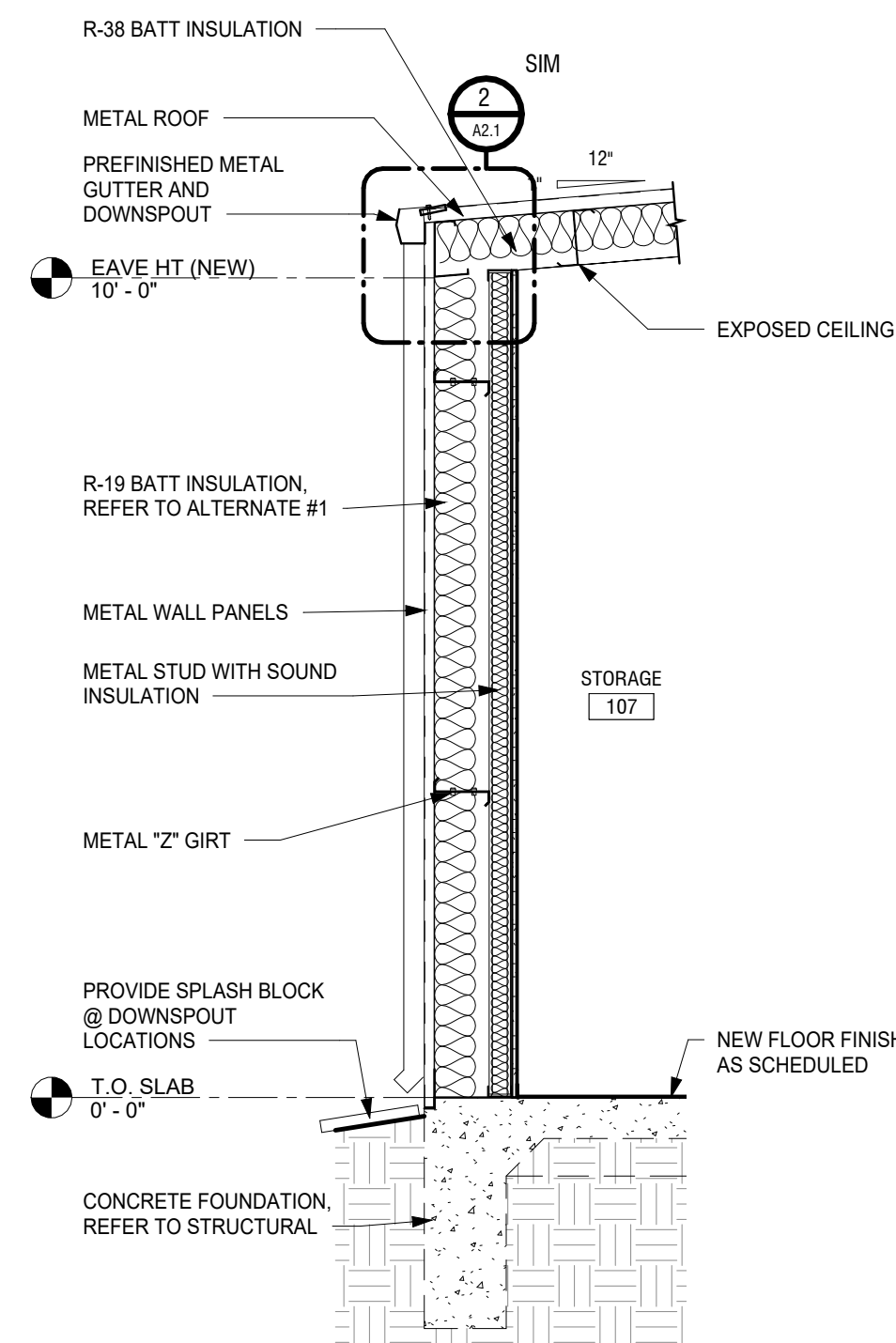
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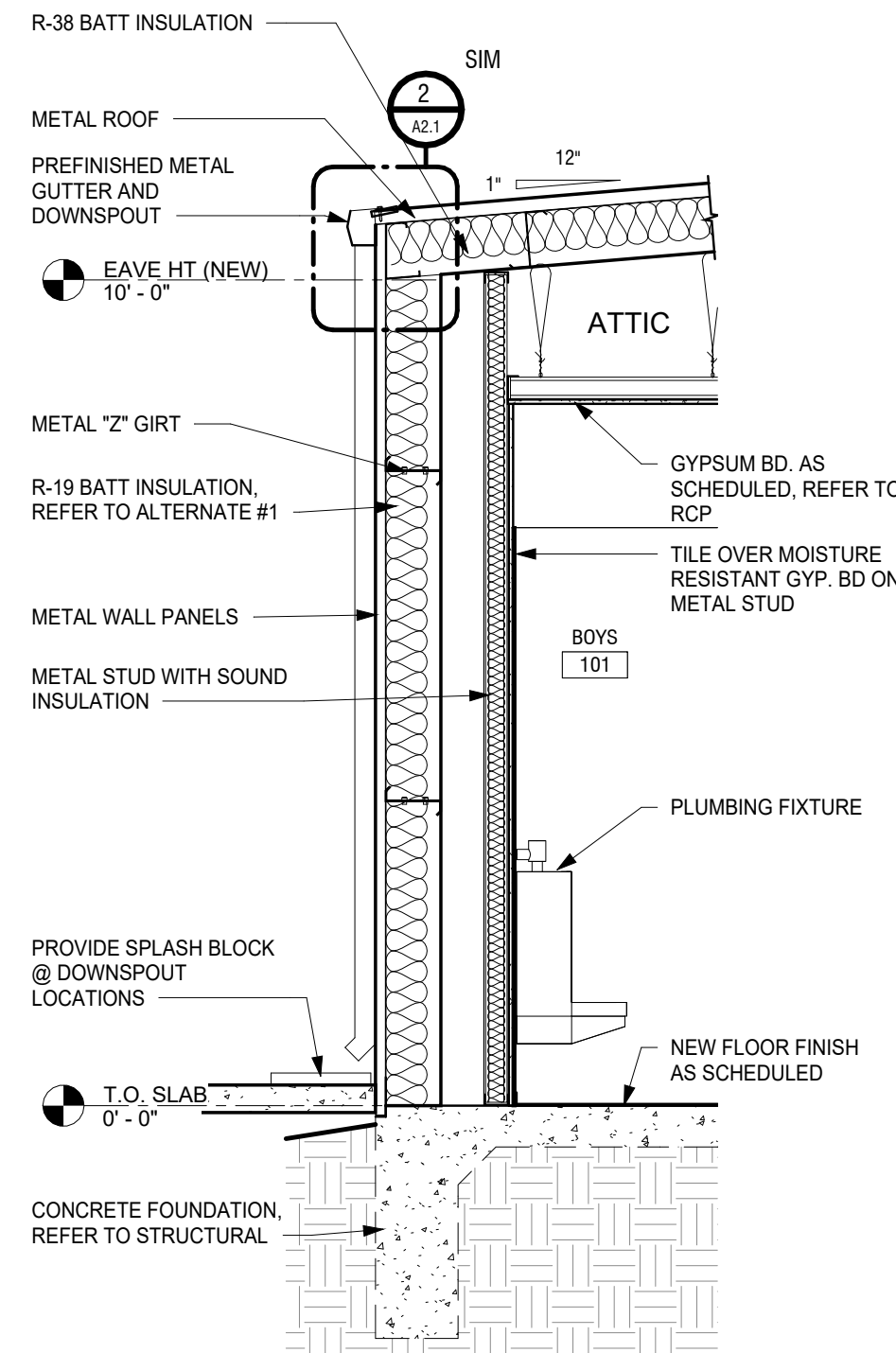
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**BUILDING
SECTIONS**

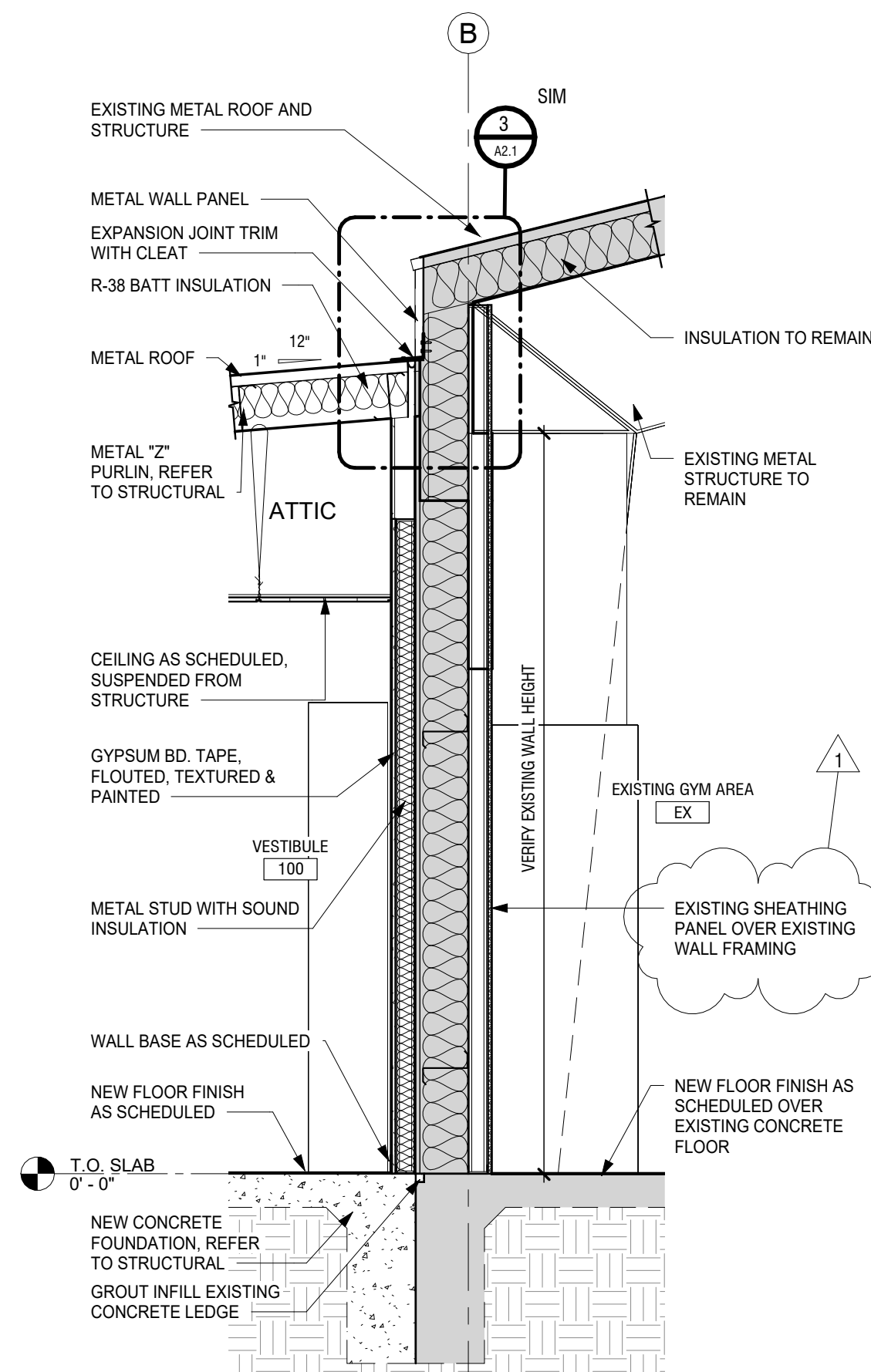
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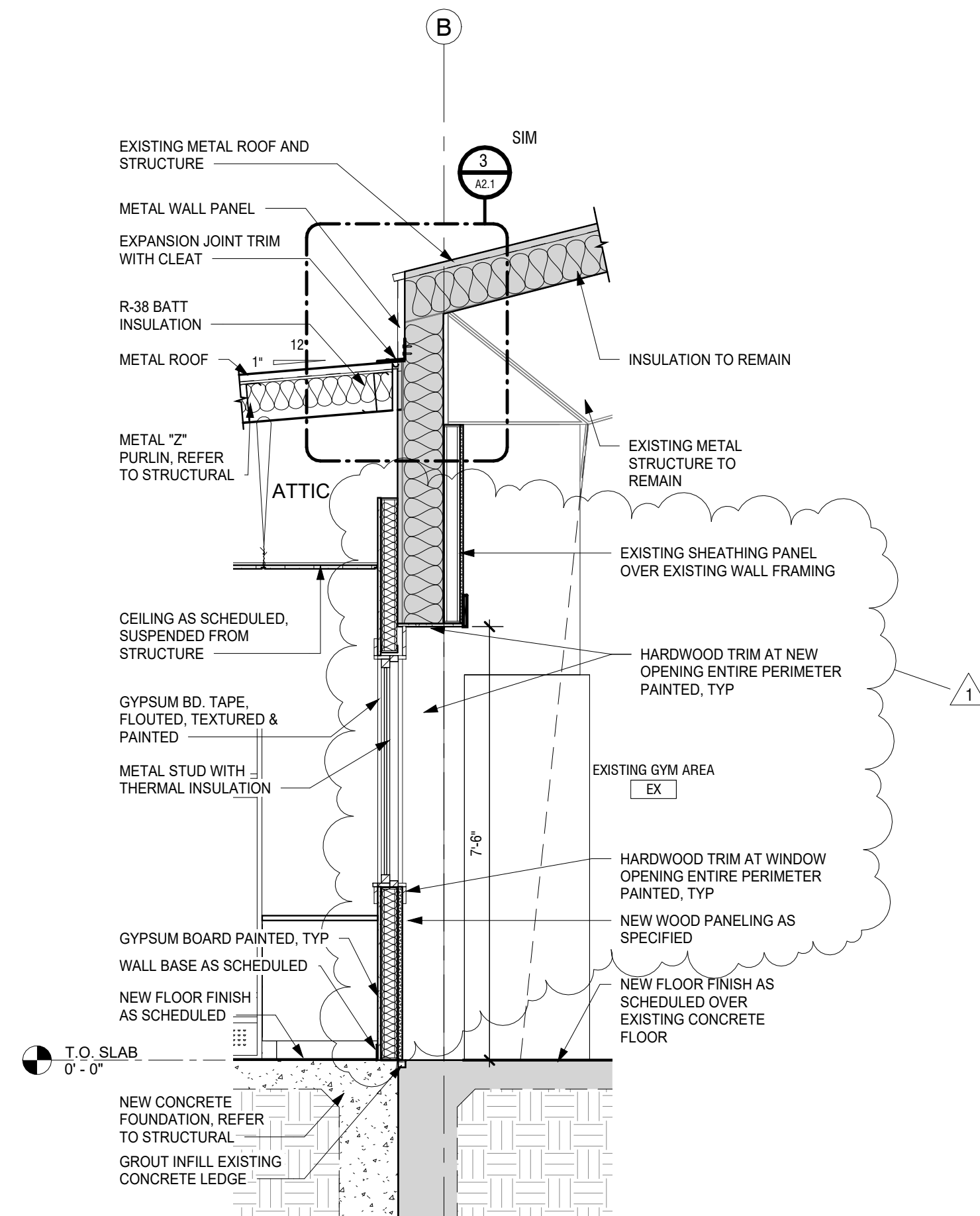
3 WALL SECTION DETAIL - STORAGE
1/2" = 1'-0"



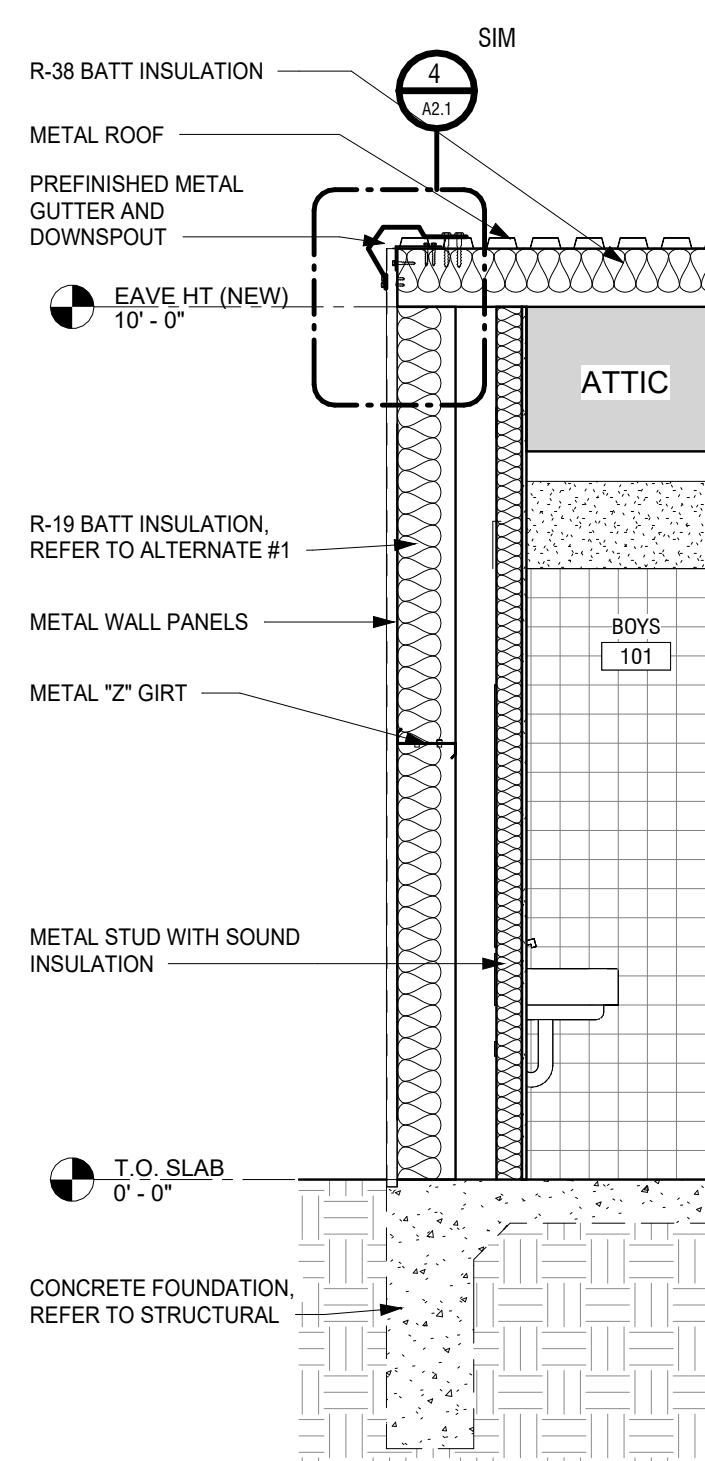
1 WALL SECTION DETAIL - BOYS
1/2" = 1'-0"



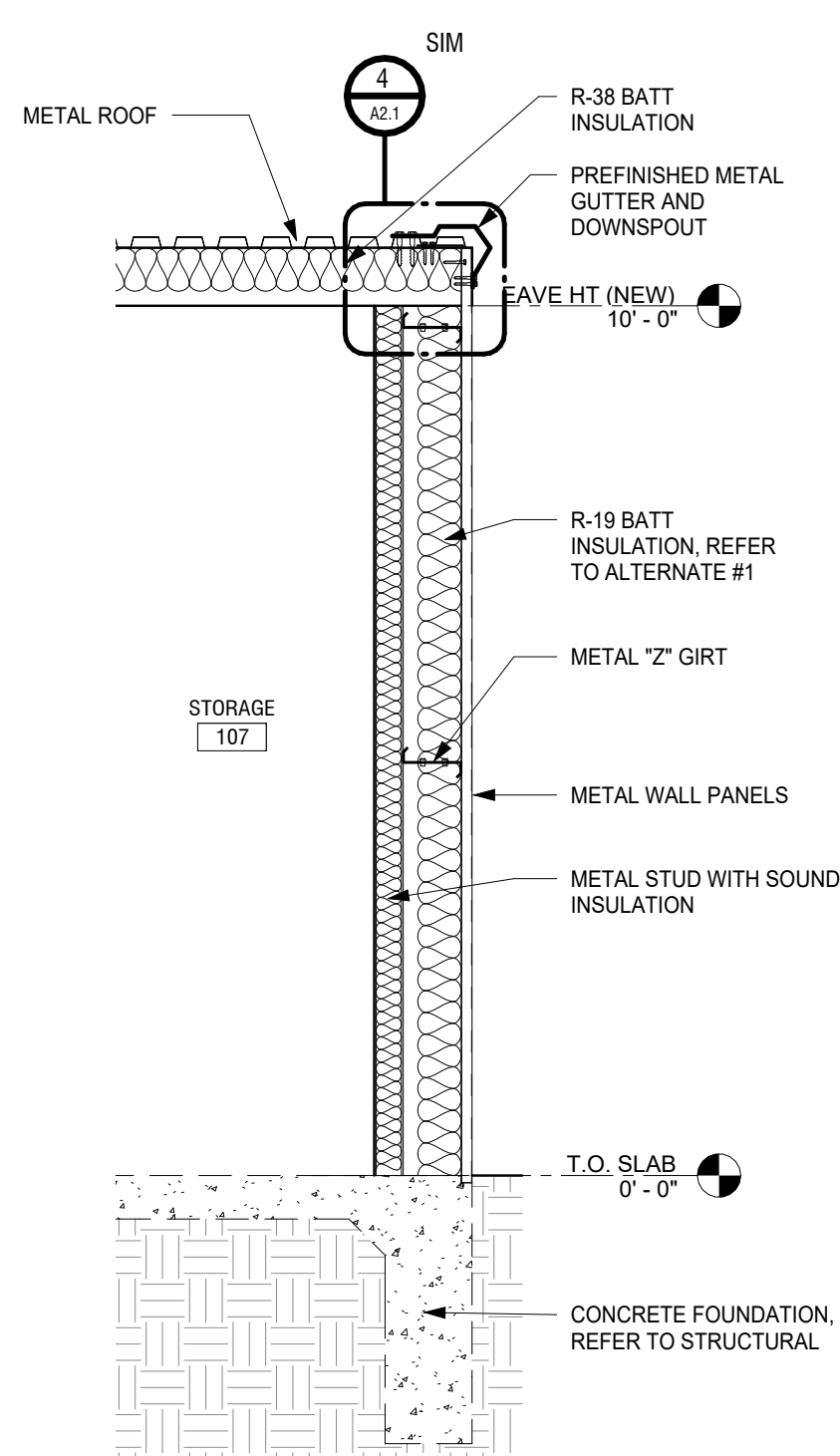
4 WALL SECTION DETAIL - TRANSITION NEW TO EXISTING
1/2" = 1'-0"



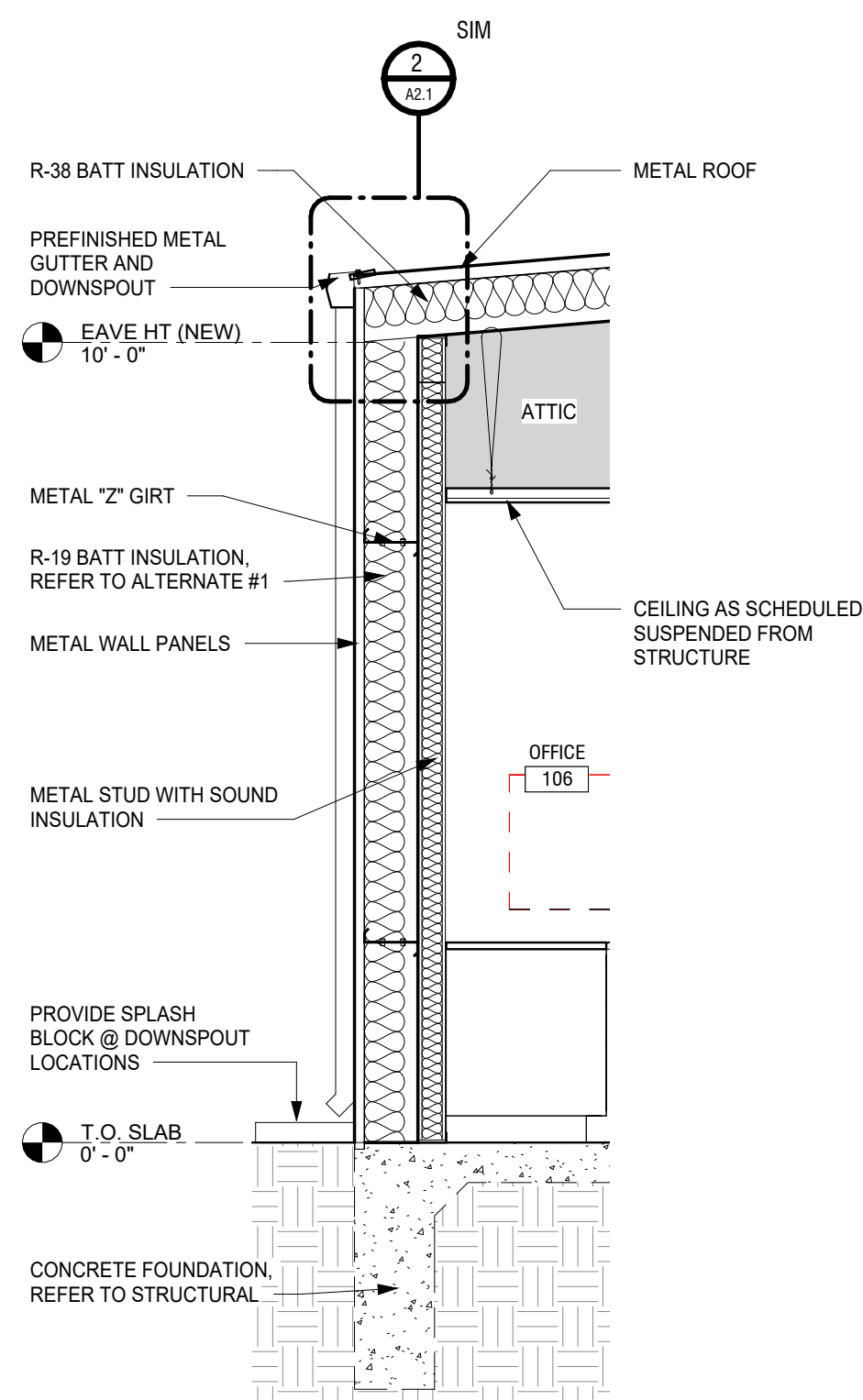
2 WALL SECTION DETAIL - WINDOW
1/2" = 1'-0"



5 Section 3 - Callout 1
1/2" = 1'-0"



6 Section 3 - Callout 2
1/2" = 1'-0"

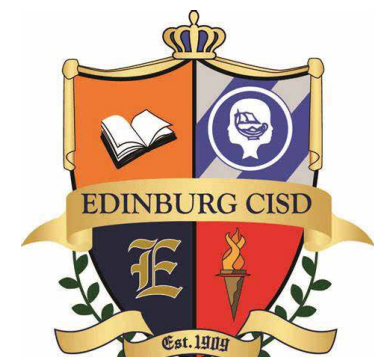


7 Section 4 - Callout 1
1/2" = 1'-0"



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SEAL: 11/7/22



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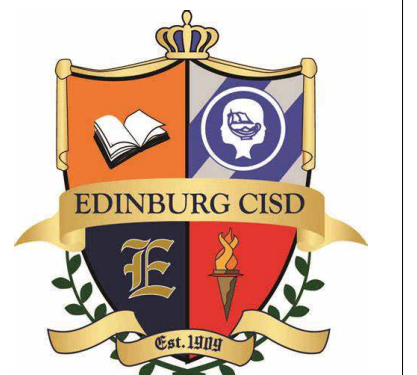
WALL
SECTIONS AND
DETAILS

A4.2



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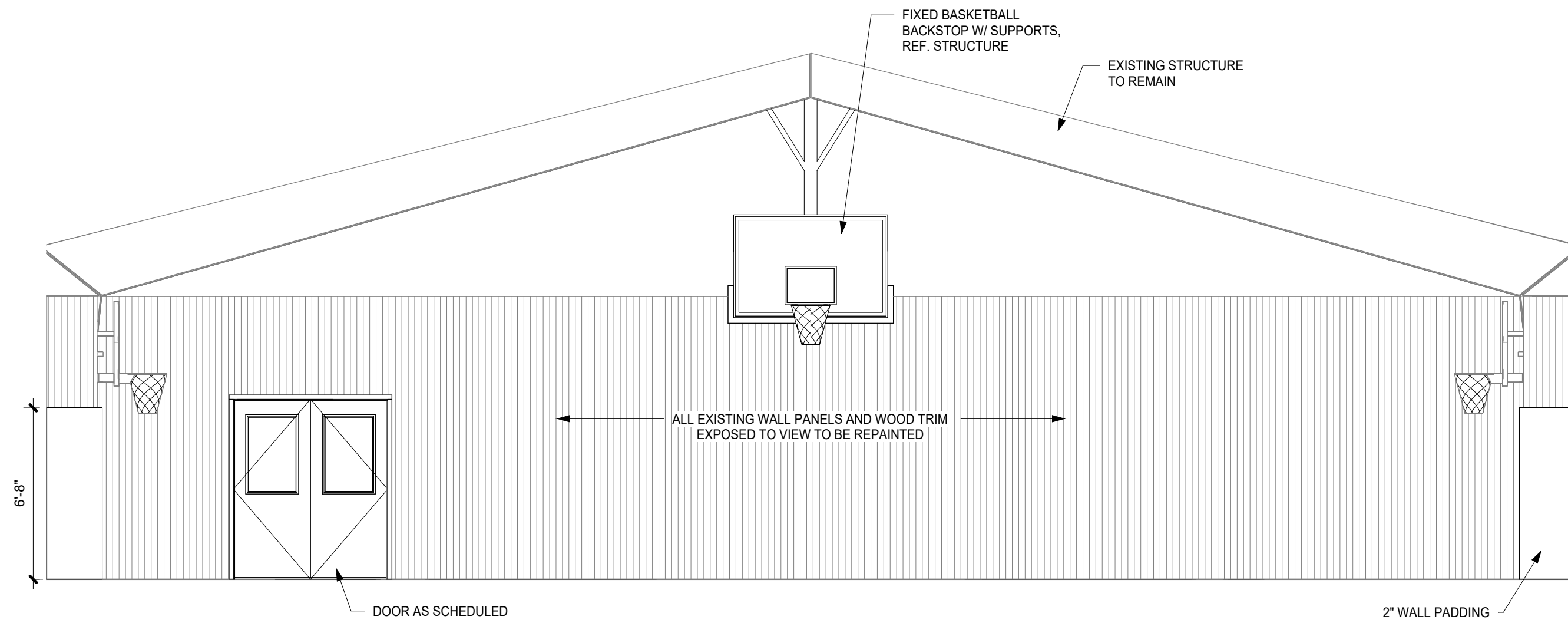
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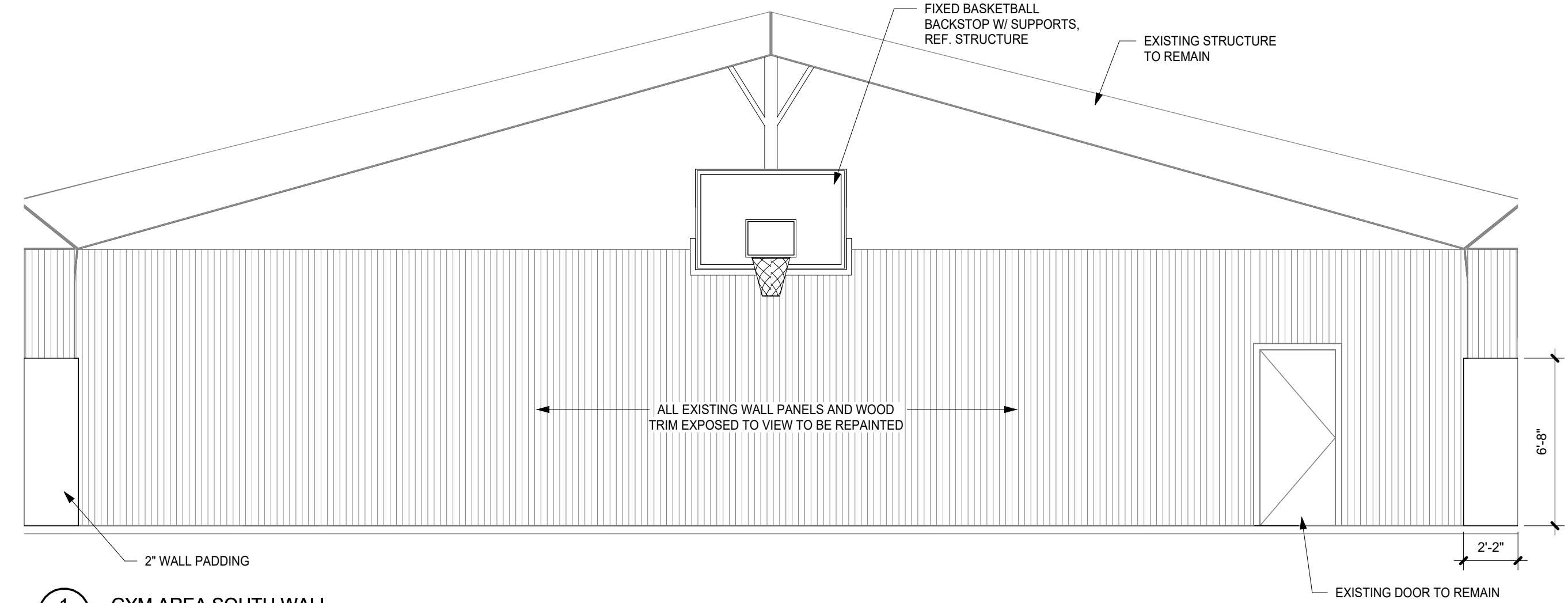
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DRAWN BY: LF MG HM
CHECKED BY: CGIII
DATE: 11-7-2022

**INTERIOR
ELEVATIONS**

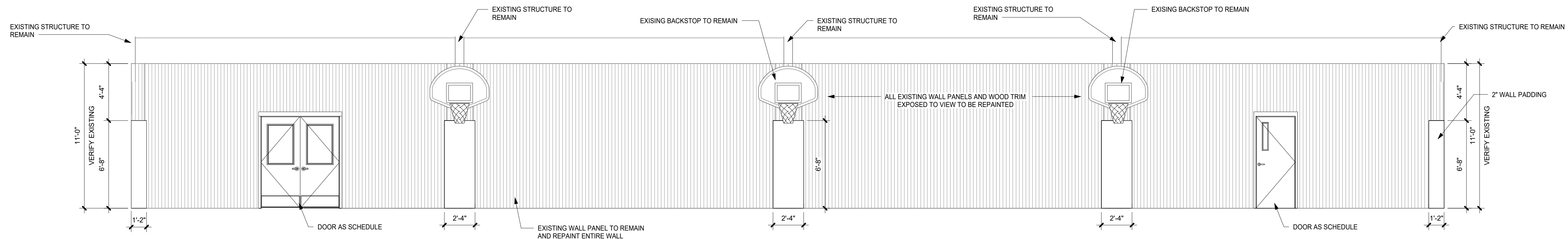
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A5.2



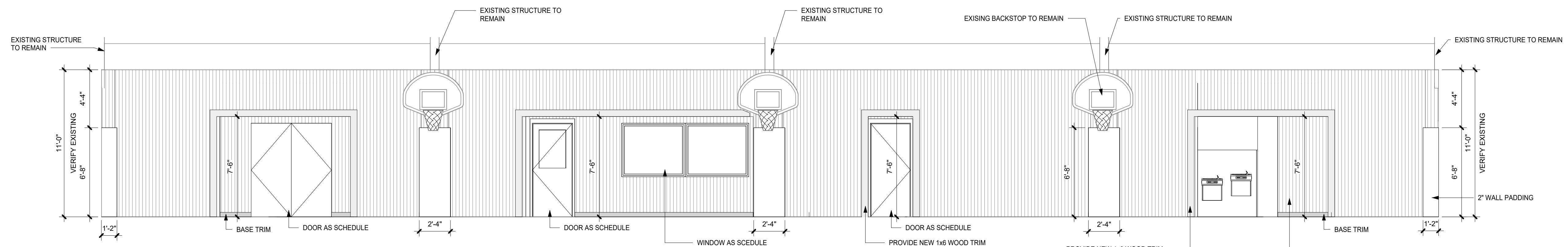
5 GYM AREA NORTH WALL
1/4" = 1'-0"



1 GYM AREA SOUTH WALL
1/4" = 1'-0"



6 GYM AREA EAST WALL
1/4" = 1'-0"

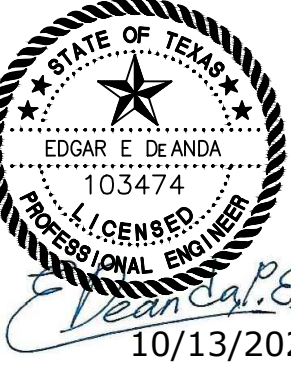


4 GYM AREA WEST WALL
1/4" = 1'-0"

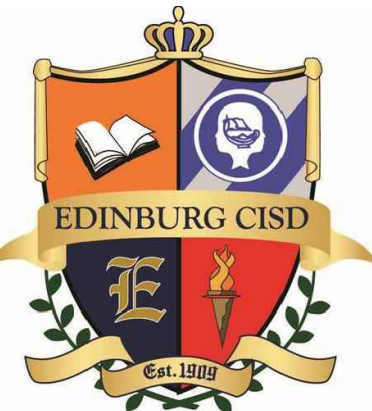


TEXAS ARCHITECT
FIRM No: BR4247
WWW.CG5ARCHITECT.COM

SEAL:



ISSUED FOR PERMIT



EDINBURG CISD
NORMA LINDA
TREVINO
ELEMENTARY
SCHOOL
GYMNASIUM
ADDITION

909 MON MACK
RD, EDINBURG,
TX 78539

CLIENT:

EDINBURG CISD

REVISION:

PROJECT #: EED22131
DRAWN BY: FG
CHECKED BY: EED
DATE: OCTOBER

ELECTRICAL
PLAN

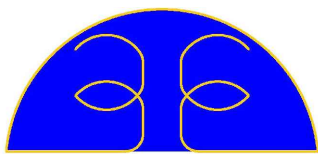
E2.0

GENERAL NOTES

- PROPOSED EQUIPMENT LOAD MIGHT NOT BE ACTUAL EQUIPMENT SELECTED. COORDINATE DIMENSIONS, ELEVATIONS, AND IN ANY CASE OF DISCREPANCIES ASK QUESTIONS TO ENGINEER, ARCHITECT, OR OWNER BEFORE ROUGH IN.
- BALANCE LOADS ON ALL THREE PHASES AS MUCH AS POSSIBLE.
- RELOCATE CIRCUIT LOADS IN PANEL TO BETTER ARRANGE CONDUITS FOR INSTALLATION.
- FIRE ALARM ANNUNCIATOR, CONTROL PANEL, PULL STATIONS AND AUDIBLE AND VISUAL SIGNALS TO BE DONE AND COORDINATED WITH A LICENSE FIRE ALARM SYSTEM INSTALLER. AND FOR THE INSTALLER TO PROVIDE SEALED DRAWINGS BEFORE ACTUAL INSTALLATION. PROPOSED DESIGN ON THESE DRAWINGS IS AN INDICATOR OF THE NEED FOR A FIRE ALARM SYSTEM. CONNECT AND COORDINATE WITH EXISTING SYSTEM HOCHIKI FireNet Plus.
- COORDINATE WITH OWNER ON INSTALLATION OF ADEMCO SECURITY ALARM SYSTEM. NEW SECURITY SYSTEM TO BE CONNECTED AND COORDINATED WITH EXISTING SYSTEM.
- COORDINATE WITH OWNER ON INSTALLATION OF VALCOM INTERCOM SYSTEM.
- ALL RECEPTACLES TO BE TAMPER PROOF.
- ADDITIONAL EQUIPMENT LOADS MIGHT BE LOCATED IN EXISTING BUILDING, CONTRACTOR TO INCORPORATE THIS LOADS INTO THE ELECTRICAL PANEL, AND ADDITIONAL CAPACITY IF NEEDED.
- CONTRACTOR TO VERIFY THE EXISTING POWER SERVICE TO BE ADEQUATE TO HANDLE THE PROPOSED LOAD. IN THE EVENT THERE IS A NEED OF ADDITIONAL ELECTRICAL EQUIPMENT, WIRES, ETC.... CONTRACTOR TO COORDINATE WITH OWNER AND ENGINEERS.

KEYED NOTES

- A/C UNIT RECEPTACLE FOR MAINTENANCE PURPOSE. COORDINATE ACTUAL LOCATION IN THE FIELD BEFORE ROUGH IN AND TERMINATION. TO BE LOCATED LESS THAN 25 FT FROM UNITS. FOR OUTDOORS, FURNISH AND INSTALL WEATHER PROOF WHILE-IN-USE HOODS EQUAL TO THOMAS AND BETTS RED-DOT CODE KEEPOP.
- ELECTRICAL PANELS, AND LIGHTING CONTACTOR (LC) MOUNTING TO BE COORDINATED IN THE FIELD FOR EXACT LOCATION.
- RECEPTACLES ABOVE COUNTER TOP OR NEAR SINKS TO BE INSTALLED PER DETAILS, OR TO BE MOUNTED 6 INCHES ABOVE COUNTER TOP OR SINKS. VERIFY WITH ACTUAL FURNITURE.
- A/C DISCONNECTS ACTUAL LOCATION TO BE COORDINATED IN THE FIELD BEFORE ROUGH IN AND TERMINATION.
- WATER HEATER DISCONNECT ACTUAL LOCATION TO BE COORDINATED IN THE FIELD BEFORE ROUGH IN AND TERMINATION.
- COORDINATE COMMUNICATIONS SERVICE FOR THIS AREA, CONNECTED TO MAIN OFFICE COMMUNICATIONS.
- ALL DATA AND PHONE WIRES TO BE INSTALLED FROM ALLOCATED COMMUNICATIONS AREA TO THE DATA AND PHONE RECEPTACLES INDICATED IN PLANS. COORDINATE WITH OWNER, ARCHITECT AND ENGINEER FOR ANY QUESTIONS BEFORE ROUGH IN AND TERMINATION.
- RECEPTACLE, DATA AND HDMI CONNECTIONS TO PROJECTOR. ROUTE 1 1/2" CONDUIT FOR DATA AND HDMI WIRING CONNECTIONS. ACTUAL LOCATION TO BE FIELD COORDINATED WITH OWNER.
- CEILING RECEPTACLE FOR PROJECTOR.
- UP-STOP-DOWN SWITCH TO LOWER AND RISE PROJECTOR SCREEN. SWITCHED TO BE ENCLOSED WITH A HEAVY DUTY KEY ACCESS ENCLOSURE. ACTUAL POWER REQUIREMENTS PER ACTUAL SCREEN SELECTION.
- ELECTRIC STRIKE WITH REMOTE DOOR RELEASE, ACTUAL LOCATION TO BE FIELD COORDINATED.
- CCTV CAMERA PROPOSED LOCATION, ACTUAL INSTALLATION TO BE PERFORMED BY A LICENSED CAMERA INSTALLER.
- GYM AREA RECEPTACLES TO BE LOCATED NEAR THE COLUMNS TO PREVENT GETTING DAMAGED BY BASKET BALLS. USE OF HEAVY DUTY COVERS.
- 1-1" CONDUIT LOCATED ABOVE CEILING GRID FOR FIBER OPTIC CABLE. CONDUIT WILL RUN THE LENGTH OF THE BUILDING AND WILL BE SPLICED INTO EXISTING 1" CONDUIT LOCATED OUTSIDE THE BUILDING ABOVE COVERED WALKWAY. ACTUAL LOCATION TO BE FIELD VERIFIED.
- IDF TO BE MOUNTED AT A MINIMUM HEIGHT OF 6'. 1' -AWAY FROM THE WALL. IDF ELECTRICAL DUPLEX OUTLET TO BE MOUNTED AT 6'8" HEIGHT AND 2' FROM THE WALL. COORDINATE WITH OWNER BEFORE ROUGH IN.
- LOCATION OF A 2" CONDUIT STUBBED OUT ABOVE CEILING GRID OR WHERE ACCESS WILL BE AVAILABLE FOR AUDIO VISUAL VENDOR TO RUN VIDEO CONNECTIONS (RAPID RUN CABLE) FOR PROJECTOR.
- INSTALL 3/4" METAL CONDUIT FOR SPEAKERS, LEAVE A 1' GAP IN THE MIDDLE AS INDICATED. COORDINATE WITH OWNER FOR ACTUAL ELEVATION AND CONDUIT LOCATION. THE 1' GAP AS REQUESTED BY OWNER IT DEPARTMENT.



EED ENGINEERING, INC.
T.B.P.E. FIRM REGISTRATION #12716

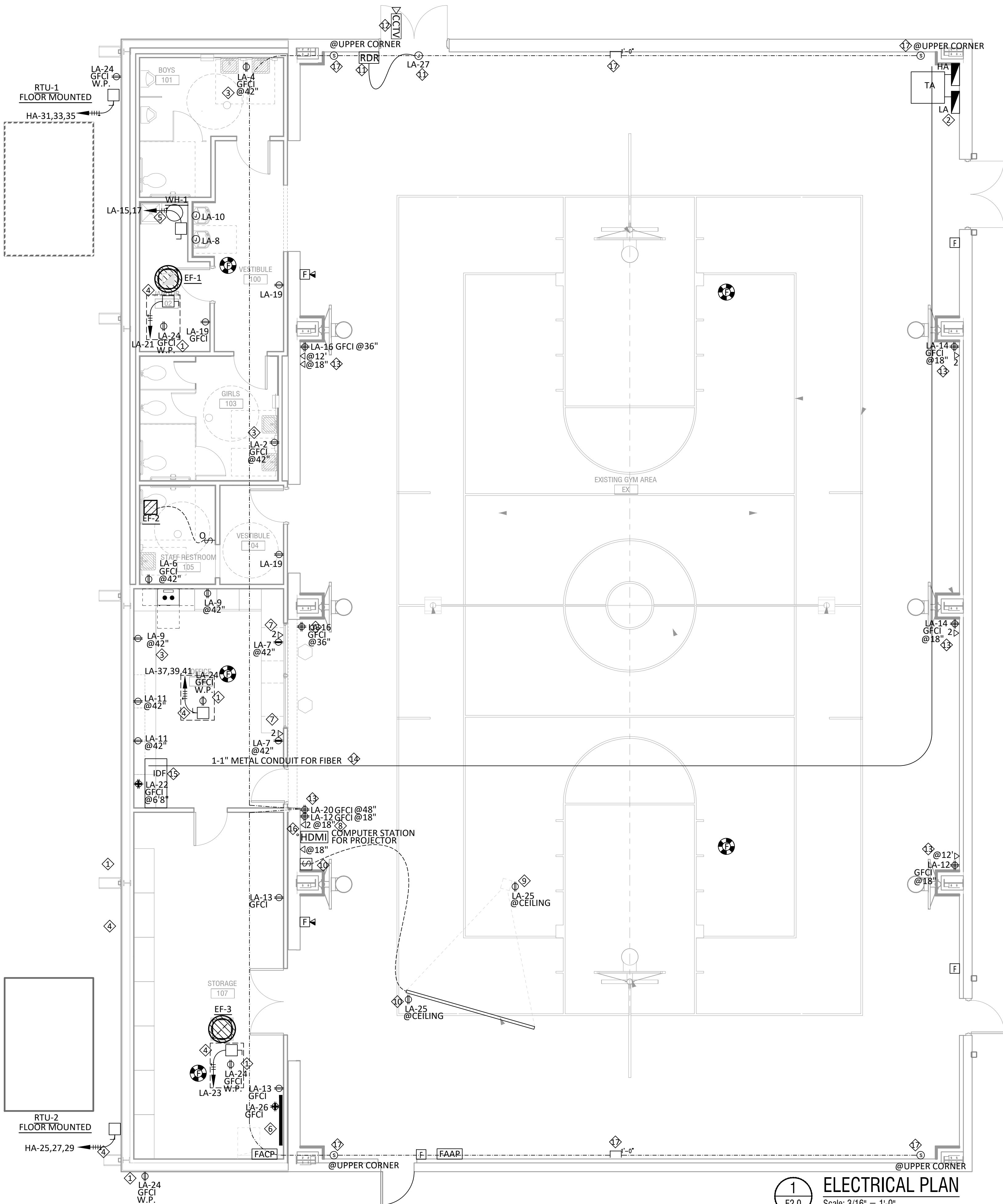
MEP ENGINEERING
INDUSTRIAL, COMMERCIAL AND RESIDENTIAL
EDGAR@EEDENGINEERING.COM
(956) 464-4792

1119 FLORES AVE., SUITE 300, LAREDO, TX 78040



ENGINEERING

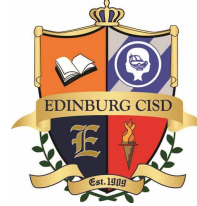
1615 Laurel Ct Donna, Texas 78537
P: 956.472.5161 www.vme-engineering.com
Texas Registered Engineering Firm - F14031
Project number: 006.22



1
E2.0

ELECTRICAL PLAN

Scale: 3/16" = 1'-0"



ADDENDUM NO: ONE (1)

TO THE BID DOCUMENTS FOR:

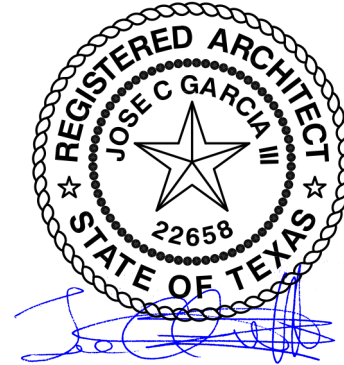
**EDINBURG CISD
CAVAZOS ELEMENTARY GYM
ADDITIONS AND IMPROVEMENTS**

NOVEMBER 8, 2022

CG5 ARCHITECT LLC

1314 E 22ND ST
MISSION, TX 78572

11/8/22

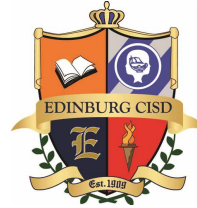


BID DATE & TIME: BID DATE AND TIME UNCHANGED
BID DATE AND TIME: NOVEMBER 11TH, 2022, 4:30PM

This addendum is generally separated into sections for convenience. All Contractors, Subcontractors, Materialmen, and/or other parties interested in submitting a bid/proposal shall be responsible for reading and understanding the entire addendum. All information presented in any place or any time in this addendum shall be attached to and become a part of the Contract Documents for this project.

A. REQUEST FOR CLARIFICATION ITEMS:

1. RFI: Is Davis-Bacon required for this project:
RESPONSE: Davis-Bacon is not applicable for this project.
2. RFI: Are the projects for each Architect to be bid together or separate?
RESPONSE: The projects for gym renovations and additions at Cavazos Elementary and Trevino Elementary are to be bid and submitted to Edinburg CISD as two individual projects with two independent bid submittals using the bid forms and documents included in each Project Manual. The projects at Cavazos and Trevino Elementaries shall not be submitted as one project.
3. RFI: Are two different bid bonds required for Cavazos and Trevino Elementary projects?
RESPONSE: YES, a bid bond is required for each project submitted individually. The Bid Bond and required forms must be included in each submitted bid proposal package pertaining to that specific project.



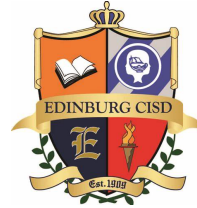
B. PROJECT MANUAL / SPECIFICATION ITEMS:

1. SECTION 012100 ALLOWANCES
 - a. At Part 3.3.A Allowance No. 1 – Contingency Allowance delete the text referencing the allowance of \$45,000.00 and change to the following:

A. Allowance No. 1 – Contingency Allowance of \$25,000.00 for use according to the Architect and/or Owner's written instructions.
2. SECTION 012200 UNIT PRICES
 - a. Add SECTION 012200 UNIT PRICES to the PROJECT MANUAL included herewith

C. PLAN DRAWING ITEMS:

1. SHEET A0.1 EXISTING CONDITIONS & DEMO (INCLUDED HEREWITH)
 - a. At EXISTING KEYNOTES, add keynote "(E12) EXISTING INTERIOR WALL FRAMING, WALL PANEL, WALL TRIM, AND EXISTING WALL INSULATION TO REMAIN"
 - b. At EXISTING KEYNOTES, add keynote "(E13) EXISTING CEILING INSULATION AND SUPPORT SYSTEM TO REMAIN"
 - c. At detail 6/A1.0 delete note "DEMOLISH AND REMOVE EXISTING INTERIOR WOOD PANELING AS REQUIRED FOR NEW WALL FINISH AND NEW CONDUIT AND ELECTRICAL AS REQ., REFER TO MEP" and replace with, "REMOVE AND SALVAGE INTERIOR WOOD SIDING PANELS WHERE REQUIRED, REINSTALL PER NEW PLAN"
 - d. At EXISTING CONDITIONS pictures, add keynotes (D3) and (E12)
 - e. At 3/A0.1 DEMO PLAN, add keynotes (D3) and (E12) to EXISTING GYM AREA north, east, and south walls.
 - f. At DEMOLITION KEYNOTES, modify keynotes (D1) and (D16) to read "NOT USED".
2. SHEET A2.0 NEW FLOOR PLAN (INCLUDED HEREWITH)
 - a. Add notes "ALL EXISTING WALL PANELS AND WOOD TRIM TO EXPOSED TO VIEW TO BE REPAINTED", add this note at gym north, east, and south walls.
 - b. Add note "ALL EXISTING PANELS AND WOOD TRIM EXPOSED TO VIEW TO BE PAINTED OR REPAINTED, EXISTING WALL PANELS TO REMAIN EXCEPT AT NEW OPENINGS, PROVIDE NEW 1x WOOD TRIM AT ALL NEW OPENINGS BOTH SIDES", add this note at gym west wall.
 - c. Delete ALTERNATE SCHEDULE. This project shall not have any alternates, all work identified in drawings shall be included in Base Bid.

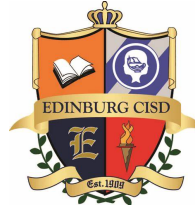


3. SHEET A4.0 BUILDING SECTIONS (INCLUDED HEREWITH)
 - a. At Sections 1/A4.0, 2/A4.0, and 3/A4.0 modify notes as shown for "R-19 BATT INSULATION REFER TO ALTERNATE NO 1" and replace with note "EXISTING INSULATION TO REMAIN"
 - b. At Sections 1/A4.0, 2/A4.0, and 3/A4.0 delete notes "EXISTING STRUCTURE TO BE RE-PAINTED" and replace with the note "EXISTING STRUCTURE TO REMAIN"
4. SHEET A4.2 WALL SECTIONS AND DETAILS (INCLUDED HEREWITH)
 - a. At wall section 2/A4.2 delete note "REPLACE EXISTING SHEATHING PANEL OVER EXISTING WALL FRAMING REPLACE WITH NEW SHEATHING PANEL REFER TO SPECS" and replace with note "EXISTING SHEATHING PANEL OVER EXISTING WALL FRAMING"
 - b. At wall section 4/A4.2 modify wall section as shown and update notes as shown
5. SHEET A5.2 INTERIOR ELEVATIONS (INCLUDED HEREWITH)
 - a. Delete entire sheet A5.2 and replace with sheet A5.2 included herewith
6. SHEET A6.0 DOOR & WINDOW SCHEDULES
 - a. At DOOR HARDWARE SET DH1 and DH2 add the following:

1 – DOOR CLOSURE, SURFACE MOUNTED
7. SHEET E2.0 ELECTRICAL PLAN
 - a. Delete entire sheet E2.0 and replace with sheet E2.0 included herewith
 - b. Added circuit for sound
 - c. Added circuit for IDF
 - d. Added circuit pipe for fiber
8. SHEET E3.0 SCHEDULES AND LOADS I
 - a. Panel LA-add 20A breaker to circuit 20 with 1000 watts load for "RECEPT SOUND"
 - b. Panel LA-add 20A breaker to circuit 22 with 1800 watts load for "RECEPT ISO GND IDF"

D. OTHER ITEMS:

1. Electrical General Note for GYMNASIUM SPEAKER infrastructure:
 - a. At all conduit runs, provide conduit ends facing up and not into the gymnasium or office space.



-
- b. Provide J-boxes at corners of gymnasium high and tight to all four corners for use by Owner for gymnasium speakers. Provide $\frac{3}{4}$ " conduit from speaker J-boxes to adjacent of coaches door at 48" A.F.F.
 - c. Provide duplex electrical outlet and required power supply wiring and conduit to panel adjacent to coach office door for Owner speaker system use.

END OF ADDENDUM NO 1

SECTION 012200 - UNIT PRICES

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes administrative and procedural requirements for unit prices.
- B. Related Requirements:
 - 1. Section 012600 "Contract Modification Procedures" for procedures for submitting and handling Change Orders.
 - 2. Section 014000 "Quality Requirements" for general testing and inspecting requirements.

1.3 DEFINITIONS

- A. Unit price is **an amount incorporated in the Agreement, applicable during the duration of the Work** as a price per unit of measurement for materials, equipment, or services, or a portion of the Work, added to or deducted from the Contract Sum by appropriate modification, if the scope of Work or estimated quantities of Work required by the Contract Documents are increased or decreased.

1.4 PROCEDURES

- A. Unit prices include all necessary material, plus cost for delivery, installation, insurance, overhead, and profit.
- B. Measurement and Payment: See individual Specification Sections for work that requires establishment of unit prices. Methods of measurement and payment for unit prices are specified in those Sections.
- C. Owner reserves the right to reject Contractor's measurement of work-in-place that involves use of established unit prices and to have this work measured, at Owner's expense, by an independent surveyor acceptable to Contractor.
- D. List of Unit Prices: A schedule of unit prices is included in Part 3. Specification Sections referenced in the schedule contain requirements for materials described under each unit price.

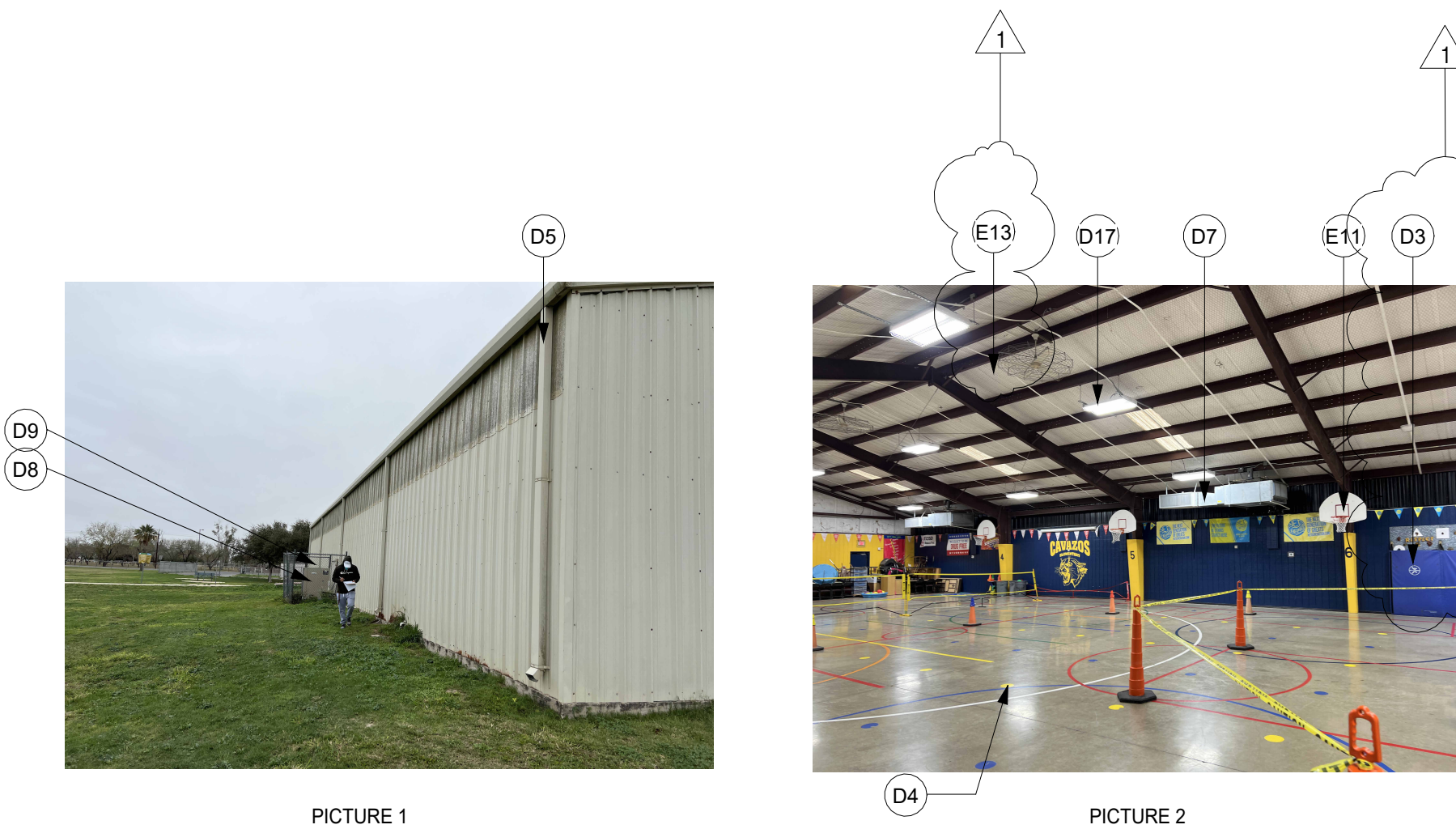
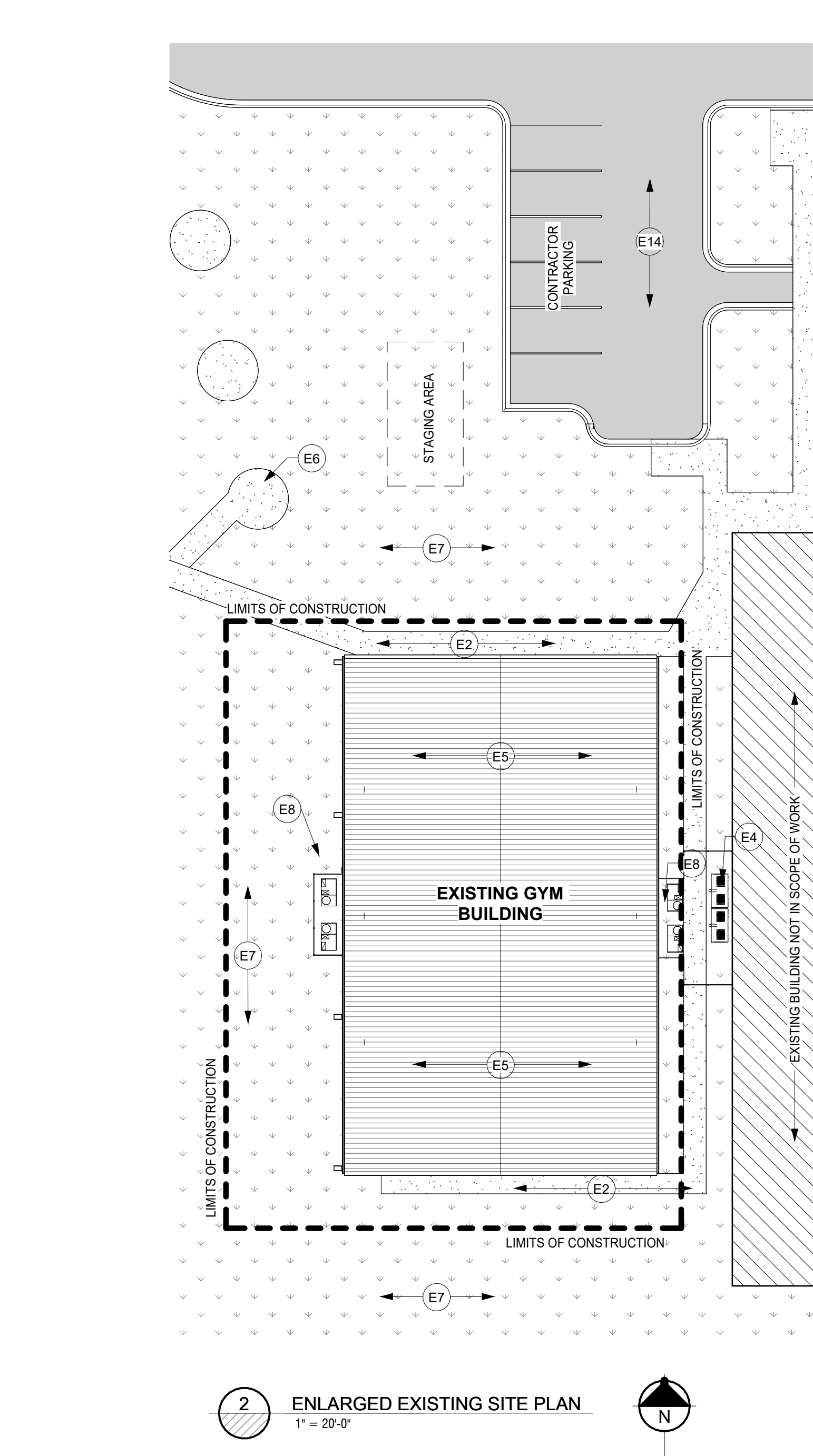
PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 SCHEDULE OF UNIT PRICES

- A. Unit Price 1: Replace existing T1-11 wood paneling and framing that are damaged or deteriorated by cause of termite and/or water damage. The T1-11 wood panel size and framing shall match existing.
1. Description: Furnish the entire Unit Price, including overhead and profit for replacing existing with new T1-11 wood panel and framing to match existing in the event damage and / or deterioration is encountered as cause of termite and/or damage, as noted in the General Notes, and shown on Drawings. The unit priced shall be dollars (\$) per square foot for all wall areas in the contract area shown on the drawings. Enter unit price on Bid Form.
 2. Unit of Measure: Square Foot (SF)
 3. Unit Price \$ [] (USD)

END OF SECTION 012200



EXISTING CONDITIONS

EXISTING KEYNOTES

- E1 EXISTING CANOPIES TO REMAIN
- E2 EXISTING CONCRETE SIDEWALK TO REMAIN
- E3 EXISTING STAFF PARKING TO REMAIN
- E4 EXISTING MECHANICAL AREA TO REMAIN
- E5 EXISTING BUILDING STRUCTURE TO REMAIN
- E6 EXISTING CONCRETE TETHERBALL INTERACTIVE AREA TO REMAIN
- E7 LANDSCAPING TO REMAIN
- E8 EXISTING CONCRETE SLAB, REFER TO DEMO PLAN
- E9 EXISTING HVAC UNITS, REFER TO DEMO PLAN
- E10 EXISTING GYM BUILDING REFER TO NEW FLOOR PLAN

- E11 EXISTING BASKETBALL HOOP AND BACKBOARD TO REMAIN
- E12 EXISTING INTERIOR WALL FRAMING & WALL PANEL TO REMAIN, AND EXISTING INSULATION TO REMAIN
- E13 EXISTING CEILING INSULATION AND SUPPORT SYSTEM TO REMAIN

EXISTING INSULATION AT BOTTOM OF DECK TO REMAIN

DEMOLISH AND REMOVE EXISTING GUTTER AND DOWN SPOUT

EAVE HT. (EXISTING) 13'-0" FIELD VERIFY

DEMOLISH AND REMOVE EXISTING METAL WALL PANEL. REFER TO PLAN, PREPARE EXISTING STRUCTURE FOR NEW WALL FINISH

DEMOLISH AND REMOVE EXISTING CHAINLINK FENCE, POST, AND FOOTINGS. PATCH AND REPAIR EXISTING SURFACE FOR NEW GRADING

EXISTING STRUCTURE TO REMAIN

REMOVE AND SALVAGE INTERIOR WOOD SIDING PANELS WHERE REQUIRED, REINSTALL PER NEW PLAN

DEMOLISH AND REMOVE EXISTING GIRT AS NOTED ON PLAN, REFER TO STRUCTURAL

EXISTING CONCRETE FOOTING TO REMAIN

EXISTING CONCRETE FOOTING TO REMAIN

EXISTING CONCRETE FOOTING TO REMAIN

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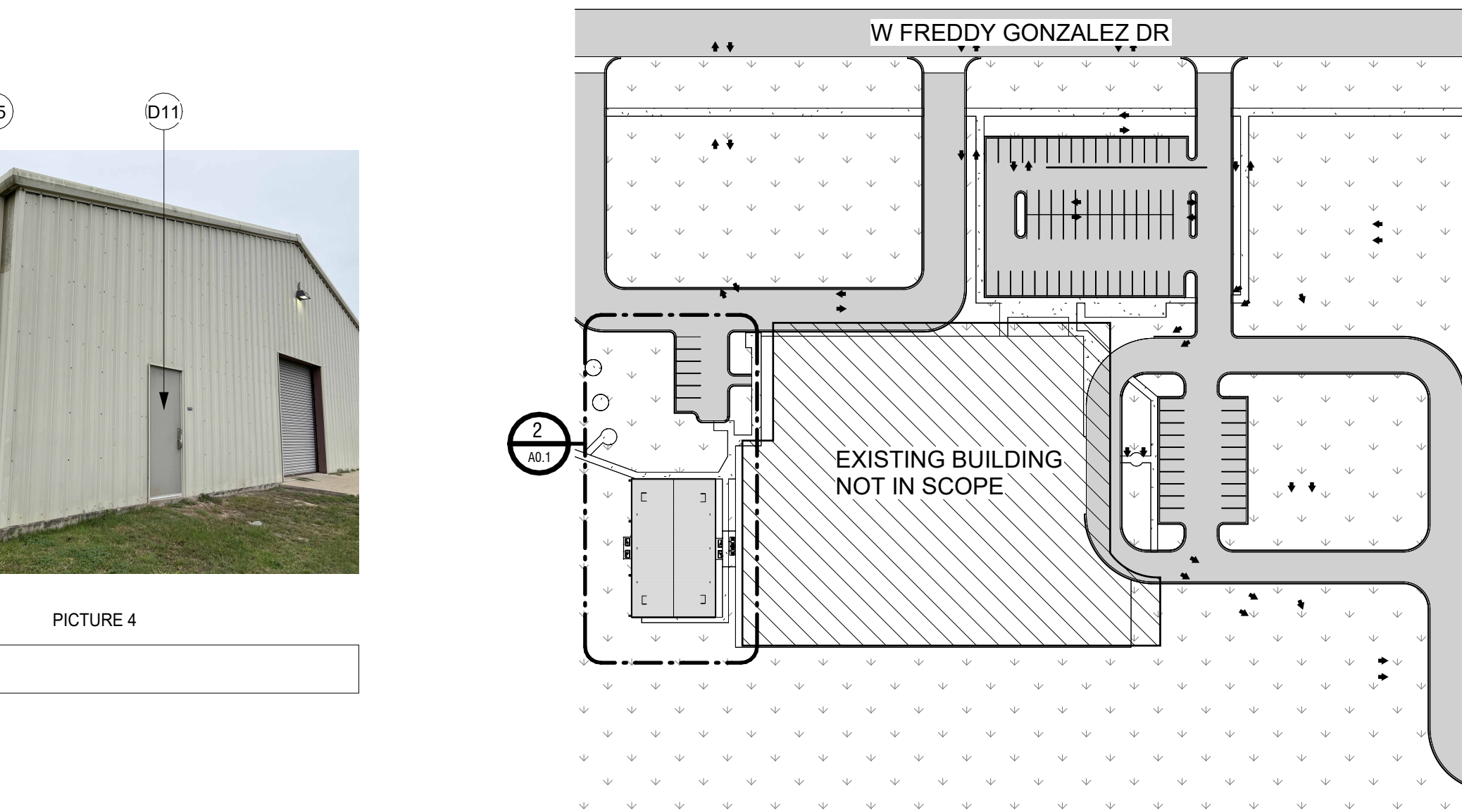
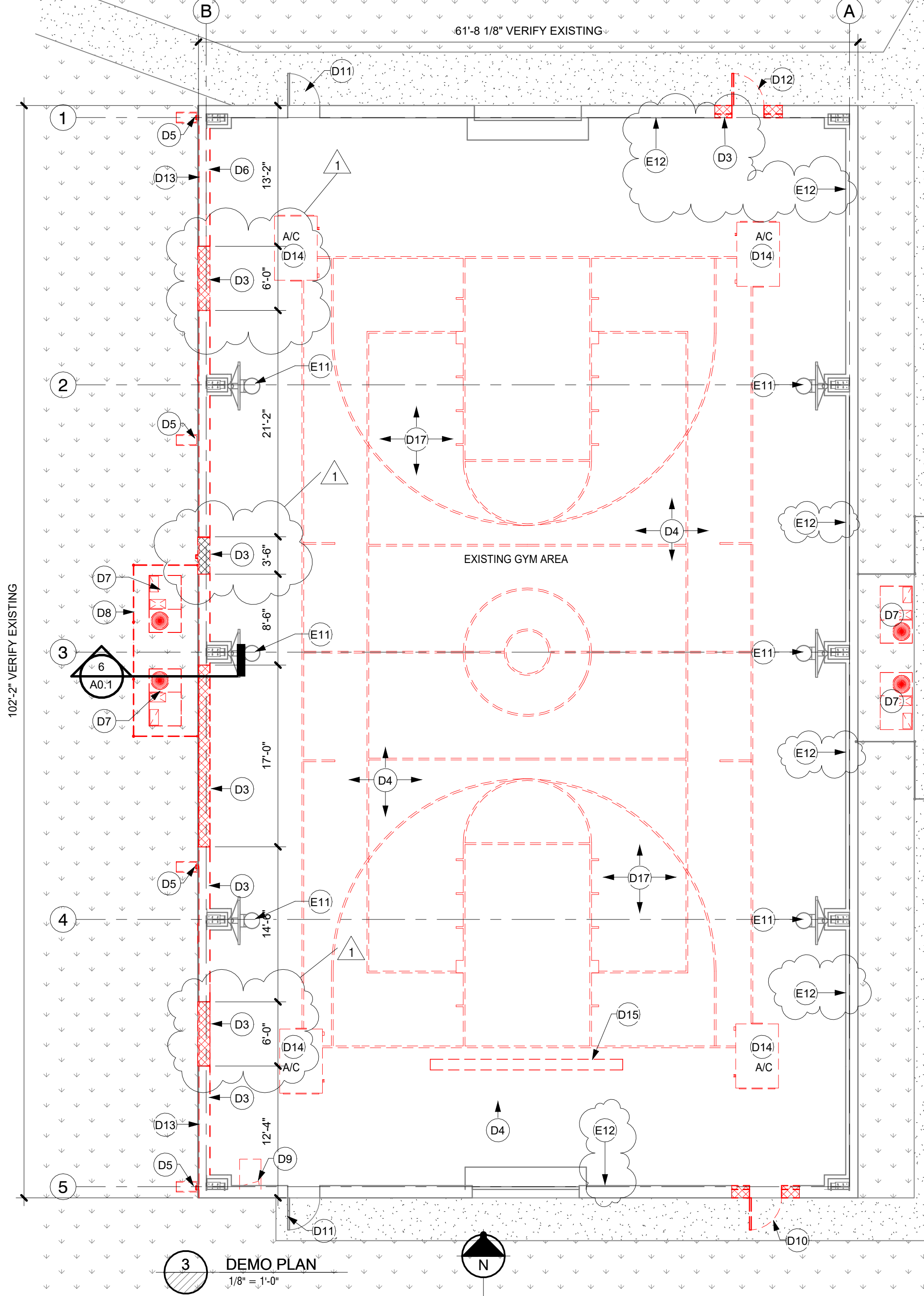
EXISTING CONCRETE FOOTING TO REMAIN

EXISTING CONCRETE FOOTING TO REMAIN

EXISTING CONCRETE FOOTING TO REMAIN

EXISTING CONCRETE FOOTING TO REMAIN

EXISTING CONCRETE FOOTING TO REMAIN



EXISTING OVERALL SITE PLAN

1" = 100'-0"

DEMOLITION GENERAL NOTES

- GENERAL CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE THEMSELVES WITH THE SCOPE OF WORK AND TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO BIDDING THIS PROJECT. ANY DISCREPANCIES OR AMBIGUOUS ITEMS MUST BE REPORTED TO THE ARCHITECT PRIOR TO BIDDING OR COMMENCING WORK FOR CLARIFICATION
- REFER TO CIVIL, STRUCTURAL, & MEP DRAWINGS, IF APPLICABLE FOR ADDITIONAL DEMOLITION AND ALTERATION NOTES
- THE OWNER HAS FIRST RIGHT OF SALVAGE OF ALL FIXTURES, EQUIPMENT, & BUILDING MATERIALS REMOVED AS PART OF THIS CONTRACT, AND SHALL NOT BE REUSED IN THE NEW CONSTRUCTION UNLESS OTHERWISE NOTED OR DIRECTED IN WRITING. REMOVE ALL OTHER DEBRIS AND WASTE FROM THE SITE AND DISPOSE OF PROPERLY, IN ACCORDANCE WITH FEDERAL, STATE, & LOCAL REGULATIONS
- FIELD VERIFY LOCATIONS OF ALL EXISTING EXTERIOR PUBLIC ADDRESS SPEAKERS, INTERCOM SPEAKERS, PLUGS, SWITCHES, HOSE BIBS, LIGHTS AND CONTROLS PRIOR TO DEMOLITION. THESE SYSTEMS MUST BE PUT BACK IN ORIGINAL AND FUNCTIONING CONDITION AFTER NEW CONSTRUCTION IS COMPLETE. REPLACE, PATCH, OR REPAIR ANY DAMAGED EXISTING COMPONENTS OR SYSTEMS, WHICH ARE INTERRUPTED OR DISTURBED
- CUTTING & PATCHING: PROVIDE MATERIALS FOR CUTTING & PATCHING WHICH WILL RESULT IN EQUAL OR BETTER WORK THAN THAT BEING CUT OR PATCHED
- ANY EXISTING CONSTRUCTION THAT IS TO BE REMOVED SHALL BE REMOVED CAREFULLY SO AS NOT TO DAMAGE ANY EXISTING CONSTRUCTION THAT IS TO REMAIN.

DEMOLITION KEYNOTES

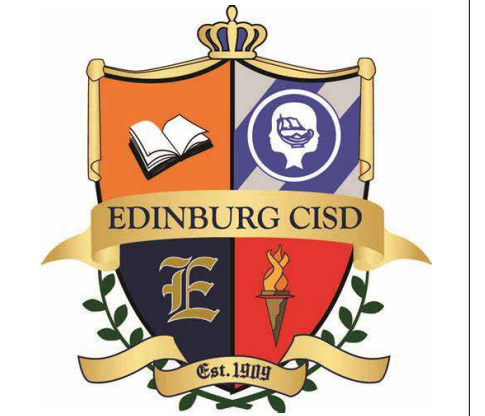
- D1 NOT USED
- D2 DEMOLISH AND REMOVE EXISTING CONCRETE FLATWORK
- D3 INTERIOR SIDE OF WALL: DEMOLISH & REMOVE EXISTING WALL PANEL. CONTRACTOR TO COORDINATE WITH STRUCTURAL FOR REMOVAL AND CUTTING OF EXISTING WALL GIRTS AND FRAMING FOR NEW OPENINGS, AS REQUIRED. REMOVE AND RELOCATE EXISTING WALL MOUNTED ACCESSORIES (CONDUIT, SPECIAL SYSTEMS, ELECTRICAL, MECHANICAL INFRASTRUCTURE) IN CONFLICT WITH NEW SCHEDULED OPENINGS. REFER: MEP FOR ADDITIONAL INFORMATION, PREPARE EXISTING WALL FOR NEW WALL PANEL FINISH
- D4 REMOVE EXISTING FLOOR FINISH AND STRIPING. PREPARE CONCRETE FLOOR FOR NEW FLOOR FINISH. REFER TO ROOM FINISH SCHEDULE
- D5 DEMOLISH AND REMOVE EXISTING GUTTER AND DOWNSPOUT AND CONCRETE SPLASH BLOCK
- D6 DEMOLISH, REMOVE, AND SALVAGE EXISTING EXTERIOR LIGHTING AND WALL MOUNTED ACCESSORIES. TERMINATE EXISTING ELECTRICAL AS REQUIRED PER CODE, AND RE ROUTE TO NEW LOCATION AS PER OWNER. PROVIDE WALL MOUNTED ITEM IN WORKING IN TIE TO RELEVANT SYSTEM
- D7 DEMOLISH AND REMOVE EXISTING HVAC UNITS REFER TO MEP FOR PROPER TERMINATION OF EXISTING REFRIGERANT LINES AND ELECTRICAL COMPONENTS
- D8 DEMOLISH AND REMOVE EXISTING CHAINLINK FENCE, POST, AND FOOTINGS. PATCH/REPAIR EXISTING GRADE FOR NEW GRADING OR LANDSCAPING AS REQUIRED
- D9 EXISTING ELECTRICAL PANEL TO BE REMOVED AND RELOCATED AS PER NEW PLAN, REFER TO MEP.
- D10 DEMOLISH AND REMOVE EXISTING HOLLOW METAL DOOR AND DOOR FRAME. PREPARE OPENING FOR NEW DOOR AND FRAME AS SCHEDULED
- D11 EXISTING DOOR AND FRAME TO REMAIN, CONTRACTOR TO CLEAN AND PREP DOOR AND FRAME FOR NEW PAINT, DOOR HARDWARE TO BE REMOVED AND/OR UPGRADED AS REQUIRED PER OWNER
- D12 DEMOLISH AND REMOVE EXISTING DOOR AND DOOR FRAME. DEMO AND REMOVE ADJACENT WALL PANELS AND STRUCTURAL FRAMING TO ACCOMMODATE NEW DOUBLE DOOR AND DOUBLE DOOR FRAME AS SCHEDULED
- D13 EXTERIOR SIDE OF WALL: DEMOLISH AND REMOVE EXISTING METAL WALL PANELS. PREPARE EXISTING STRUCTURE FOR NEW WALL PANELS AND NEW PLAN LAYOUT, REFER TO STRUCTURE FOR ADDITIONAL INSTRUCTIONS
- D14 DEMOLISH AND REMOVE EXISTING MECHANICAL EQUIPMENT SUSPENDED FROM STRUCTURE. REMOVE ALL SUPPORTING STRUCTURE AND CONNECTED ELECTRICAL ITEMS
- D15 DEMOLISH, REMOVE, AND SALVAGE EXISTING PROJECTOR, AND RE ROUTE TO NEW LOCATION AS PER OWNER
- D16 DO NOT USE
- D17 DEMOLISH AND REMOVE EXISTING LIGHTING FIXTURE, PREPARE CONDUIT/ELECTRICAL FOR NEW FIXTURE

DEMOLITION LEGEND

- ITEM TO BE DEMOLISHED
- ITEM TO REMAIN



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IMPROVMENTS

1501 FREDDY
GONZALEZ DR,
MCALLEN, TX
78504

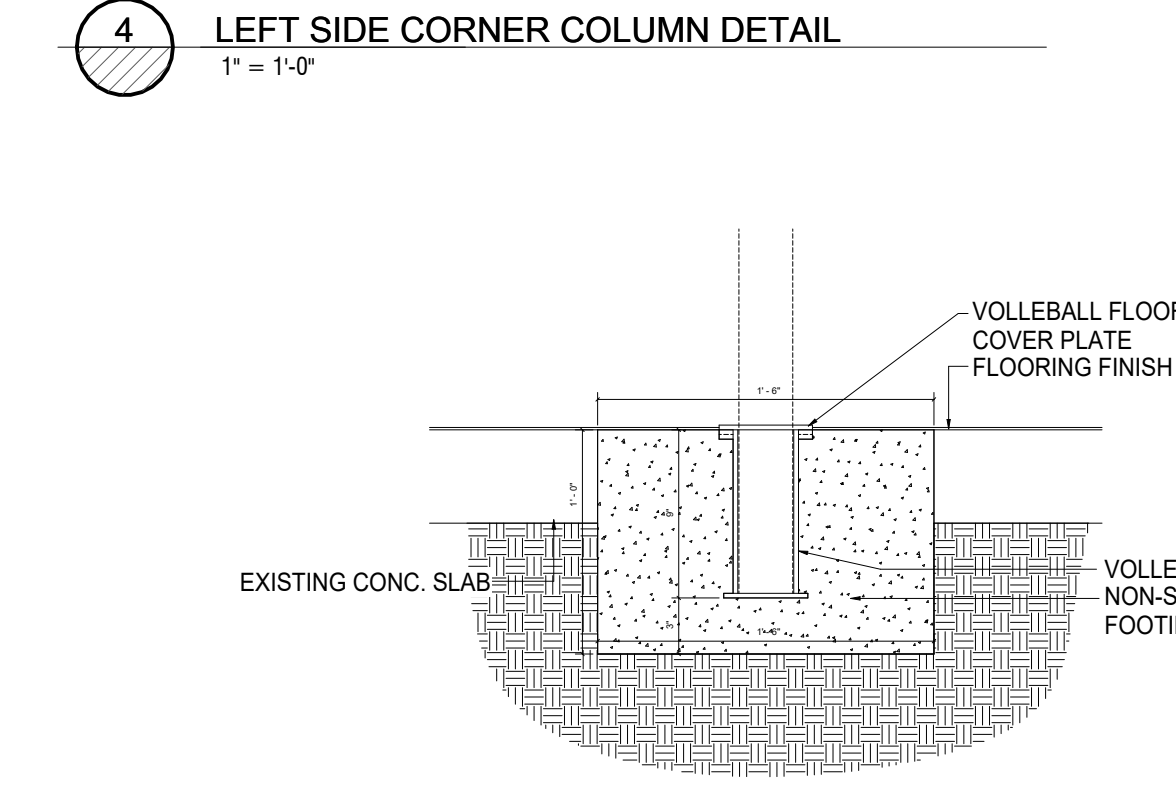
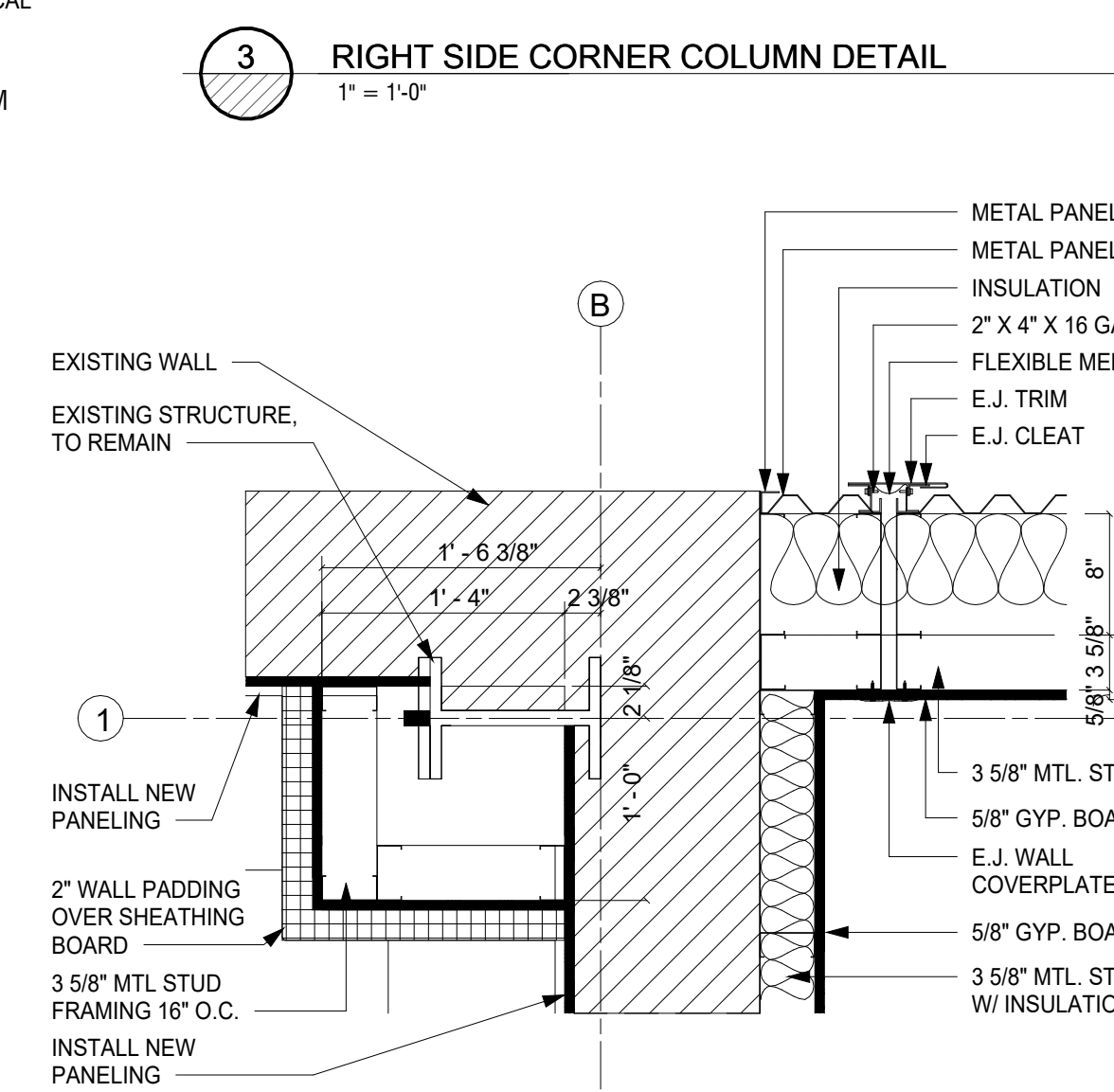
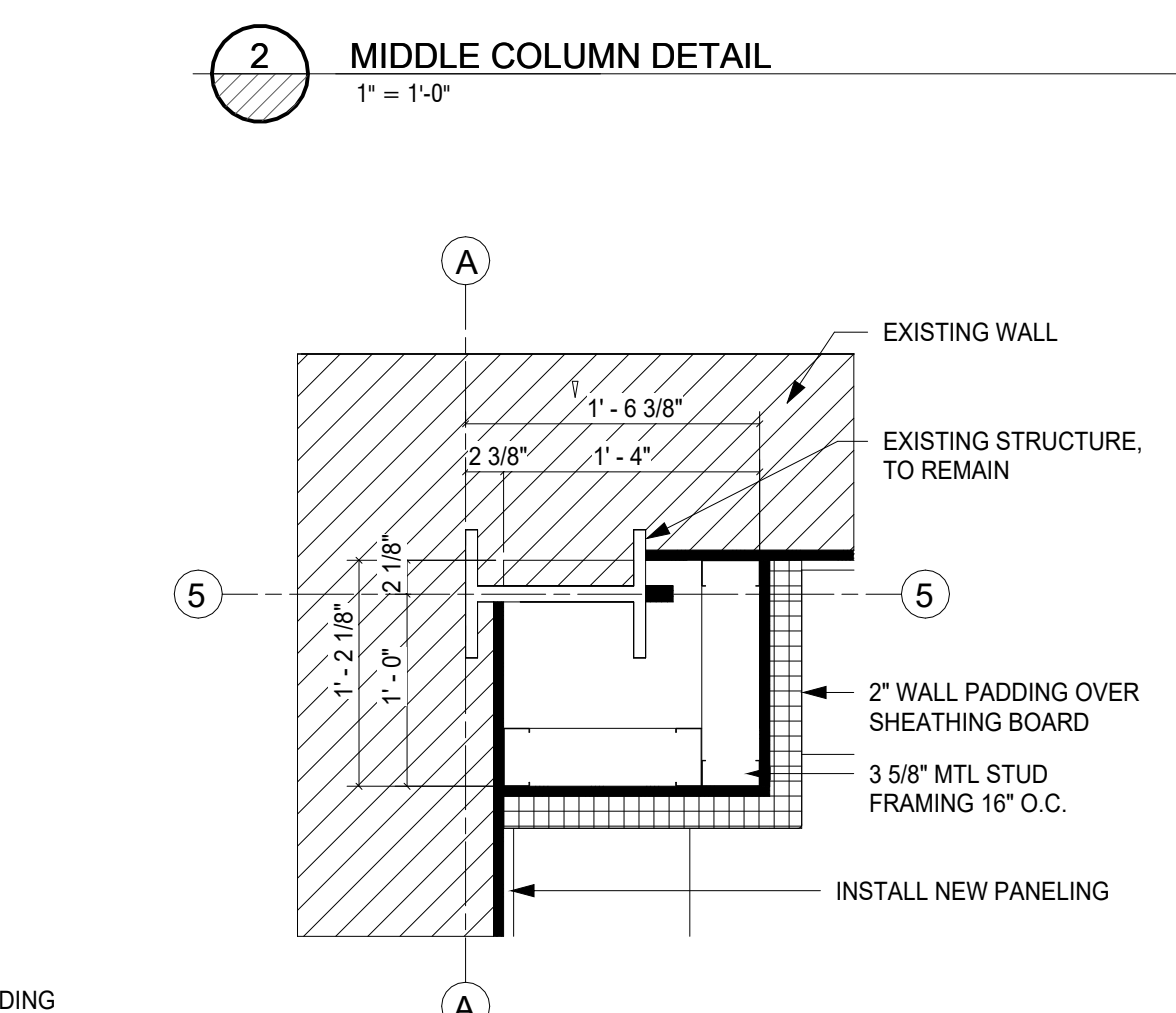
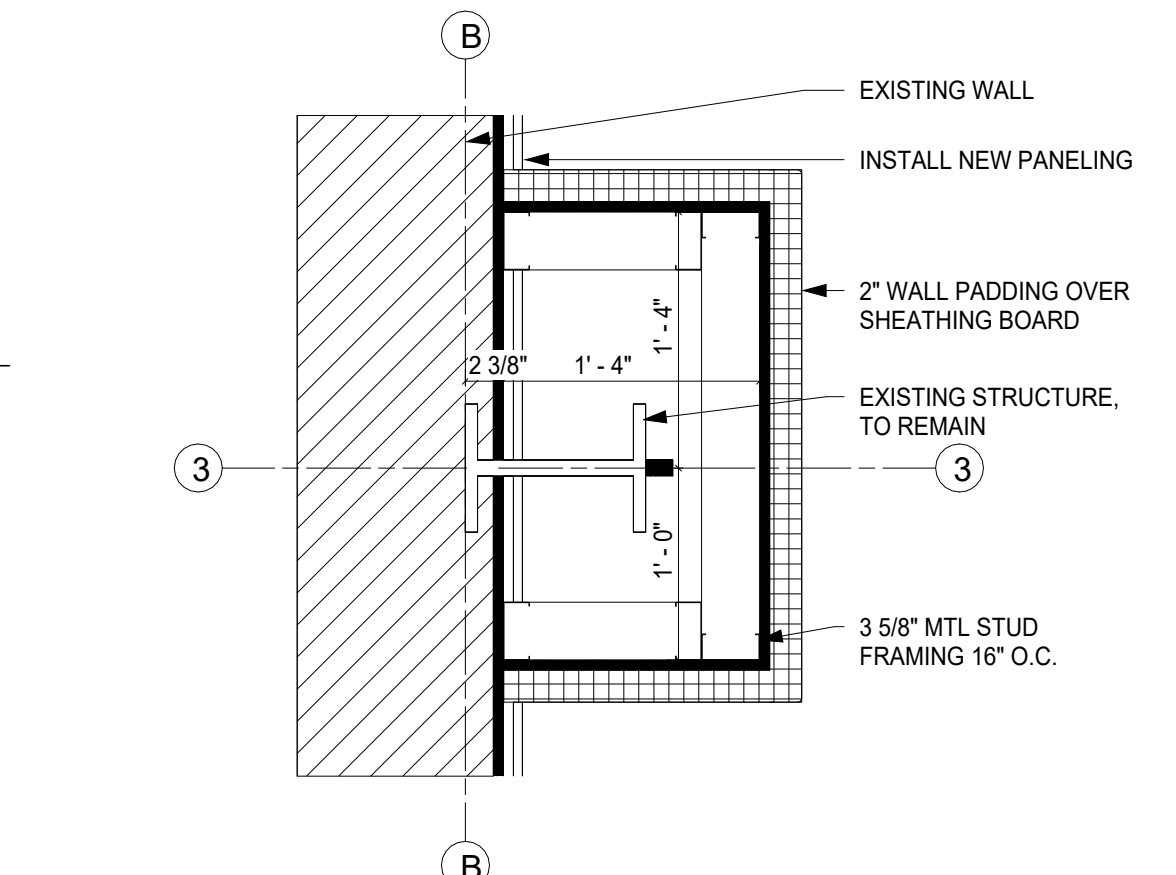
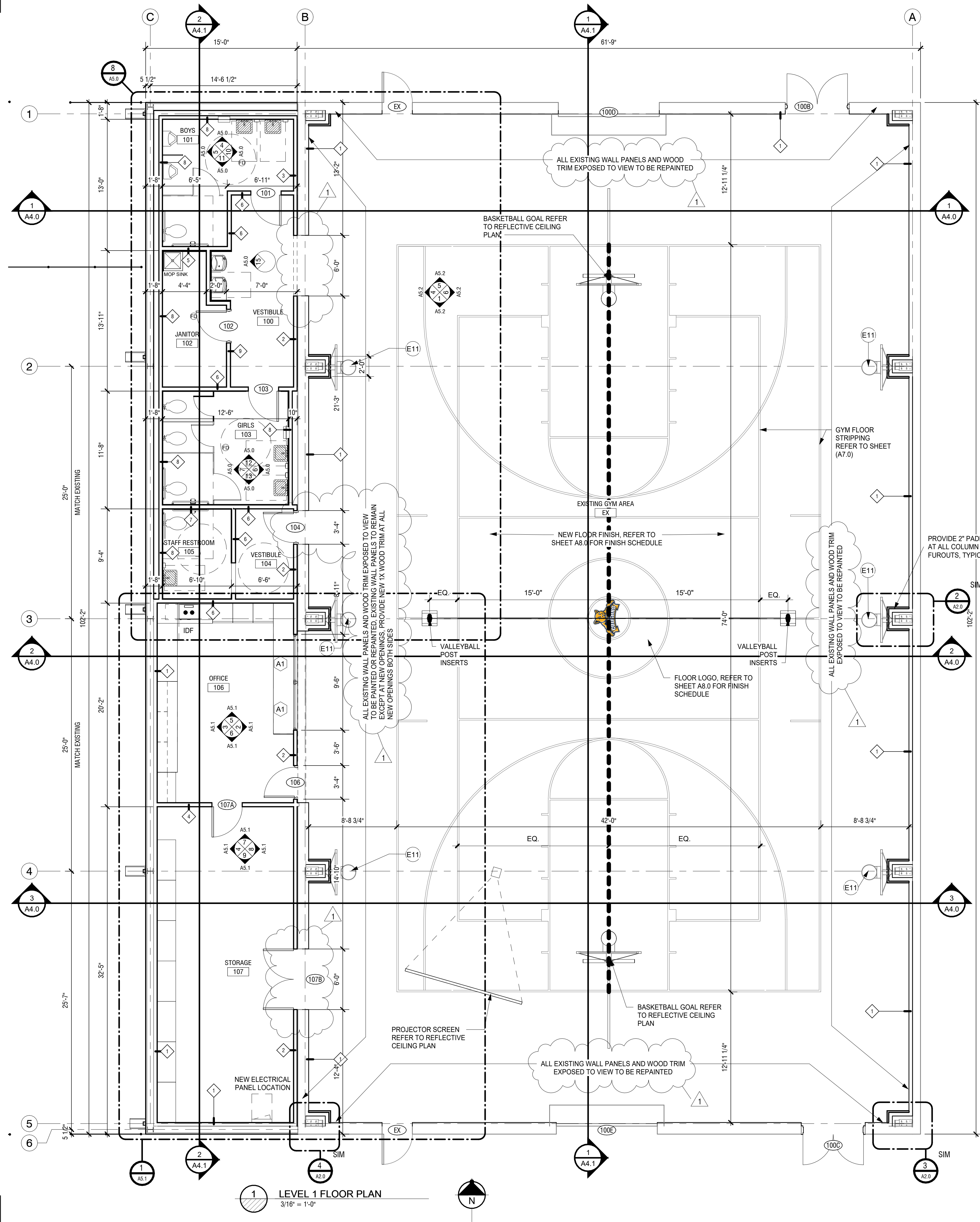
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EXISTING
CONDITIONS &
DEMO

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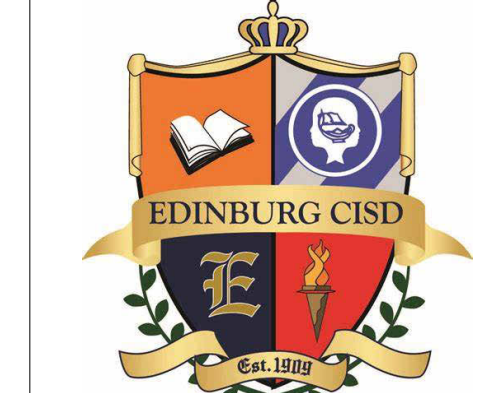


FLOOR PLAN GENERAL NOTES

- THE CONTRACTOR SHALL CAREFULLY REVIEW THE DRAWINGS, SPECIFICATIONS, DIMENSIONS AND SITE CONDITIONS PRIOR TO BEGINNING ANY WORK AND REPORT ANY INCONSISTENCIES OR DISCREPANCIES TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION DURING THE Q&A PERIOD OF THE BID PHASE, AND AT THE LATEST BEFORE BEGINNING CONSTRUCTION.
- THE DRAWINGS AND SPECIFICATIONS ARE CORRELATIVE AND HAVE EQUAL AUTHORITY AND PRIORITY. BASE DISAGREEMENTS IN THEMSELVES OR IN EACH OTHER ON THE MOST EXPENSIVE COMBINATION OF QUANTITY AND QUALITY OF WORK INDICATED.
- ITEMS SPECIFICALLY MENTIONED IN THE SPECIFICATIONS BUT NOT SHOWN ON THE DRAWINGS OR ITEMS SHOWN ON THE DRAWINGS BUT NOT SPECIFICALLY MENTIONED IN THE SPECIFICATIONS SHALL BE PROVIDED AS IF THEY WERE BOTH SPECIFIED AND SHOWN IN THE DRAWINGS.
- ALL MINOR DETAILS OF WORK WHICH ARE NOT SPECIFICALLY SHOWN ON THE DRAWINGS, AS WELL AS SUCH ITEMS WHICH ARE NOT SPECIFICALLY MENTIONED IN THE SPECIFICATIONS, BUT ARE NECESSARY FOR THE PROPER COMPLETION OF THE WORK, SHALL BE CONSIDERED AS INCIDENTAL AND AS BEING PART OF AND INCLUDED WITH THE WORK FOR WHICH PRICES ARE GIVEN IN THE PROPOSAL AND NO EXTRA COMPENSATION SHALL BE ALLOWED FOR THE PERFORMANCE THEREOF.
- ALL FLOOR PLAN DIMENSIONS ARE TO FINISH FACE OF WALL. DO NOT SCALE DRAWINGS. WHERE DIMENSIONS ARE NOTED "AS CLEAR" DIMENSION SHALL BE FROM FINISH TO FINISH.
- CASEWORK, PLUMBING FIXTURES, TOILET PARTITIONS, AND OTHER FIXTURES AND EQUIPMENT ARE DIMENSIONED FROM FINISHED SURFACES UNLESS NOTED OTHERWISE.
- ALL SPACES WITH FLOOR DRAINS - SLOPE NOT TO EXCEED 2% (ONE - IN - FIFTY) IN ANY DIRECTION. COORDINATE ALL FLOOR DRAINS WITH PLUMBING DRAWINGS PRIOR TO ANY ROUGH-IN AND CONCRETE PLACEMENT.
- DIMENSIONS NOTED AS "FIELD VERIFY" SHALL BE CHECKED AT THE SITE BY THE CONTRACTOR AND REVIEWED WITH THE ARCHITECT BEFORE INCORPORATING INTO THE WORK.
- DIMENSIONS NOTED AS "CLEAR" REQUIRE SPECIFIC COORDINATION BETWEEN DISCIPLINES AND/OR MANUFACTURERS.
- ALL FLOOR FINISH CHANGES SHALL OCCUR AT THE CENTERLINE OF DOORS UNLESS NOTED OTHERWISE. ALL FLOOR FINISH ELEVATION CHANGES SHALL HAVE THRESHOLDS OR REDUCERS STRIPS AS SPECIFIED.
- OPEN EXTERIOR JOINTS AROUND DOOR AND WINDOW FRAMES, BETWEEN WALLS AND FOUNDATION, BETWEEN WALLS AND ROOF, BETWEEN WALL PANELS, AT WALL AND ROOF PENETRATIONS AND ANY OTHER BUILDING ENVELOPE PENETRATION SHALL BE SEALED, CAULKED AND/OR WEATHER-STRIPPED TO PREVENT OR LIMIT AIR, MOISTURE AND VAPOR PENETRATION. USE ONLY SPECIFIED MANUFACTURER APPROVED MATERIALS AS DIRECTED BY MATERIAL MANUFACTURERS.
- EFFECTIVELY ISOLATE ALL DISSIMILAR METALS/ MATERIALS TO PREVENT CORROSION BY ELECTROLYTIC ACTION OR OTHER CAUSES AS RECOMMENDED BY THE RESPECTIVE PRODUCT MANUFACTURER OR SUPPLIER.
- PROPERLY TERMINATE ALL MATERIALS WITH APPROPRIATE TRIM, FLASHING, SEALANT, EXPANSION CONTROL, ETC. AS INDICATED ON DRAWINGS OR AS REQUIRED FOR PROPER INSTALLATION AS ACCEPTED BY STANDARD BUILDING PRACTICE.
- COORDINATE AND PROVIDE APPROPRIATE BLOCKING IN WALLS AS REQUIRED TO SECURE ALL EQUIPMENT, HANDRAILS, CASEWORK, ETC. AS REQUIRED. WOOD BLOCKING SHALL MEET CODE REQUIREMENTS.
- SINGLE USER TOILET ROOMS MAY BE CONFIGURED IN ACCORDANCE WITH TECHNICAL MEMORANDUM TM 03-02 ISSUED BY THE TEXAS DEPARTMENT OF LICENSING AND REGULATIONS, ARCHITECTURAL BARRIERS DIVISION ALLOWING THE DOOR SWING TO ENCR OACH INTO THE 5 FOOT DIAMETER TURNING CIRCLE SPACE SO LONG AS A CLEAR FLOOR SPACE OF 30" X 48" IS PROVIDED.
- REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR CEILING TYPES AND HEIGHTS. COORDINATE ALL LIGHT FIXTURES, MECHANICAL DIFFUSERS, NOTIFICATION DEVICES, ETC. WITH M.E.P. DRAWINGS. NOTIFY ARCHITECT OF ANY DISCREPANCIES FOR RESOLUTION.
- REFER TO PARTITION TYPE SHEET FOR ALL PARTITION TYPES.
- COORDINATE HOUSEKEEPING PAD DIMENSIONS AND LOCATIONS WITH EQUIPMENT TO BE INSTALLED. ALL HOUSEKEEPING PADS SHALL BE A MINIMUM OF 4" TALL REINF. W/ #3 BARS AT 15" O.C.B.W. AND PROVIDE 1" (45- DEGREE) CHAMFERED EDGES UNLESS NOTED OTHERWISE.
- ALL INTERIOR DOORS IN STUD WALL ASSEMBLIES SHALL BE SET A MINIMUM OF 4" OFF THE PERPENDICULAR ADJACENT WALL ON THE HINGE SIDE OF THE DOOR UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS FOR RESOLUTION.
- SET ALL EXTERIOR DOOR THRESHOLDS IN FULL BED OF MANUFACTURER APPROVED SEALANT IN ACCORDANCE WITH MANUFACTURER INSTALLATION INSTRUCTIONS.
- REFER TO CODES AND CONVENTIONS SHEET FOR MOUNTING HEIGHTS OF FIXTURES AND EQUIPMENT AS SCHEDULED. REFER TO THE TEXAS DEPARTMENT OF LICENSING AND REGULATIONS, ARCHITECTURAL BARRIERS DIVISION TEXAS ACCESSIBILITY STANDARDS FOR ALL MOUNTING HEIGHTS NOT LISTED AND FOR FURTHER CLARIFICATION AS NEEDED.
- PROVIDE DATA J-HOOKS AS REQUIRED FOR DATA ROUTES



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EDINBURG CISD CAVAZOS ELEMENTARY SCHOOL GYMNASIUM ADDITIONS/ IMPROVMENTS

1501 FREDDY
GONZALEZ DR,
MCALLEN, TX
78504

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EDINBURG CISD

REVISION:
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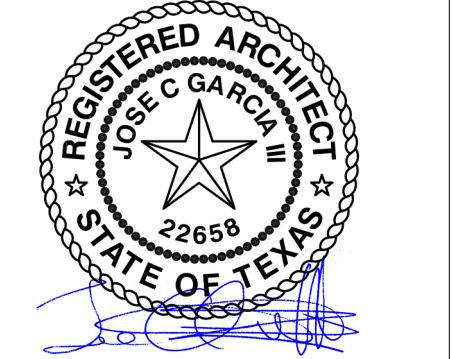
NEW FLOOR PLAN

A2.0



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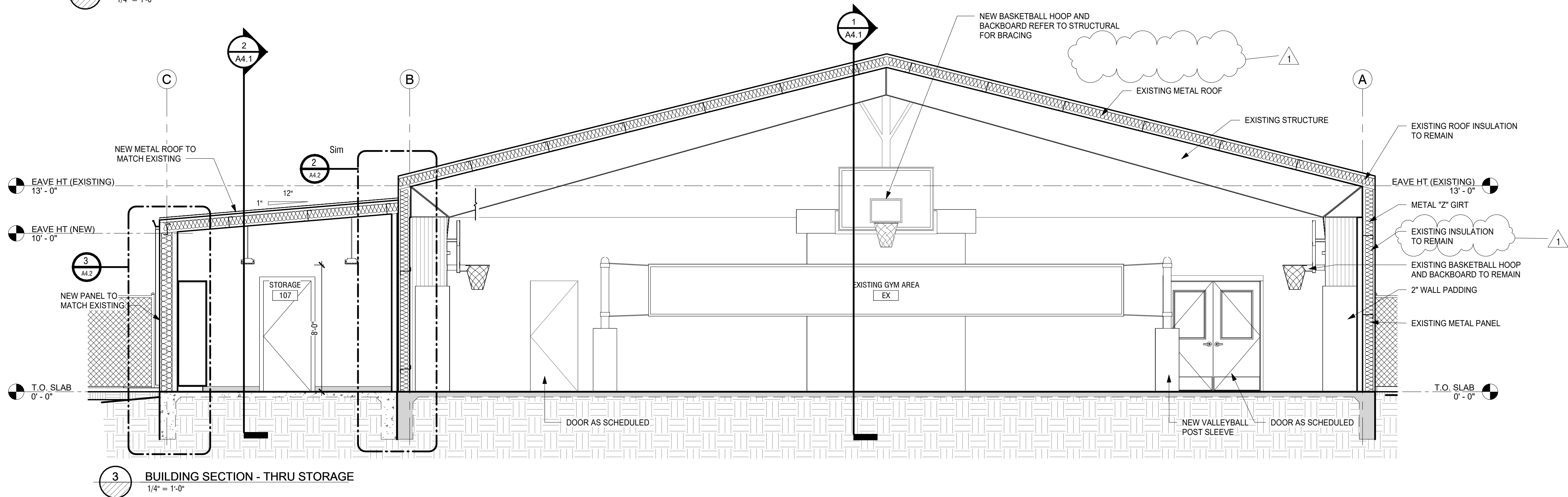
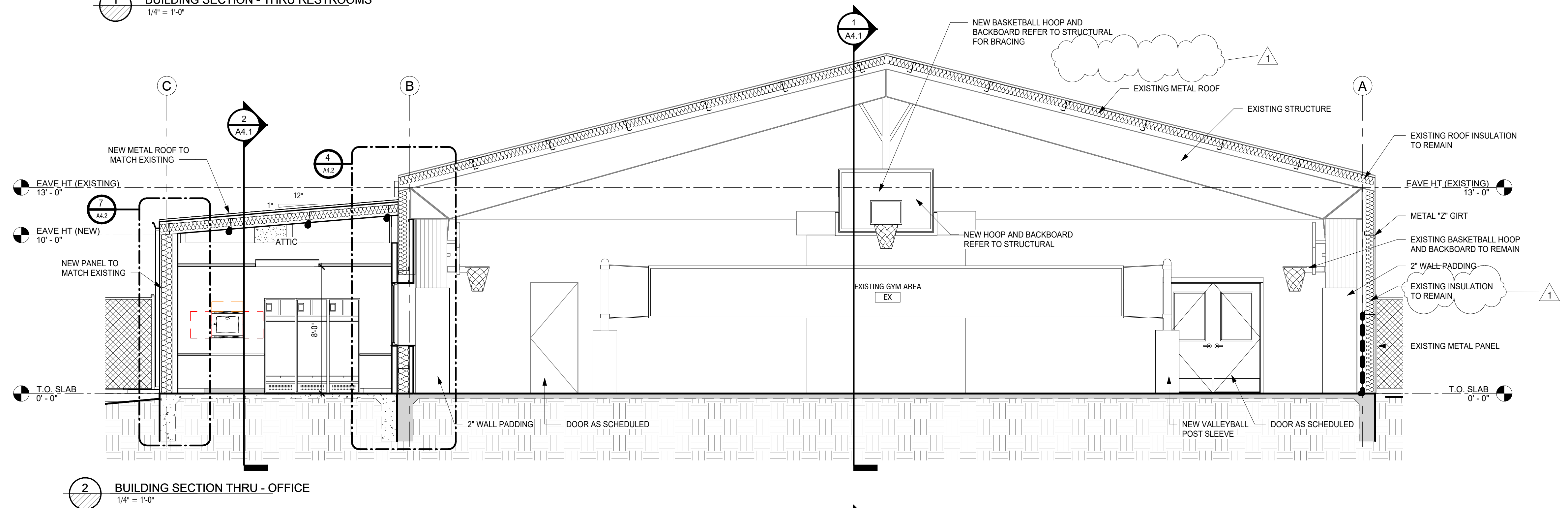
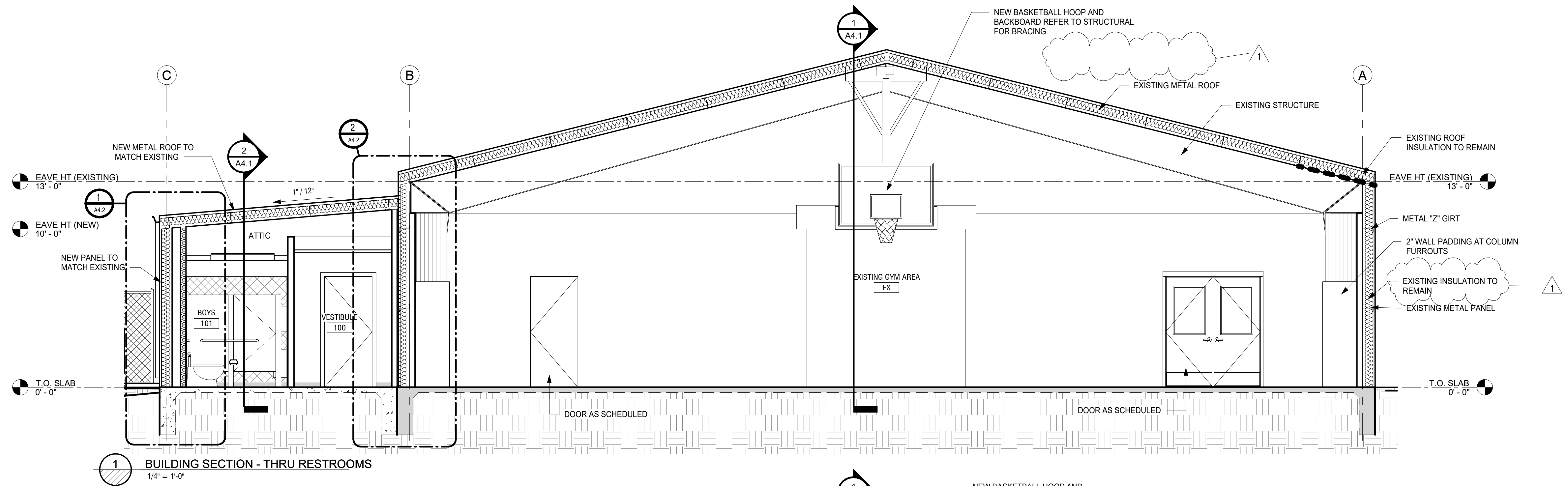
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**BUILDING
SECTIONS**

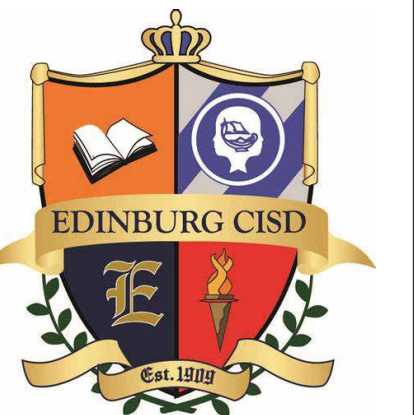
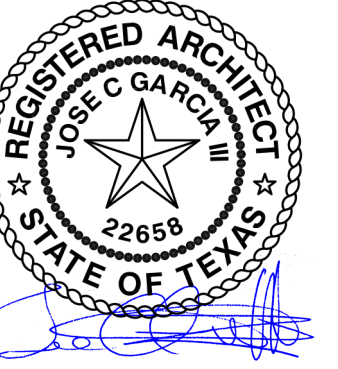
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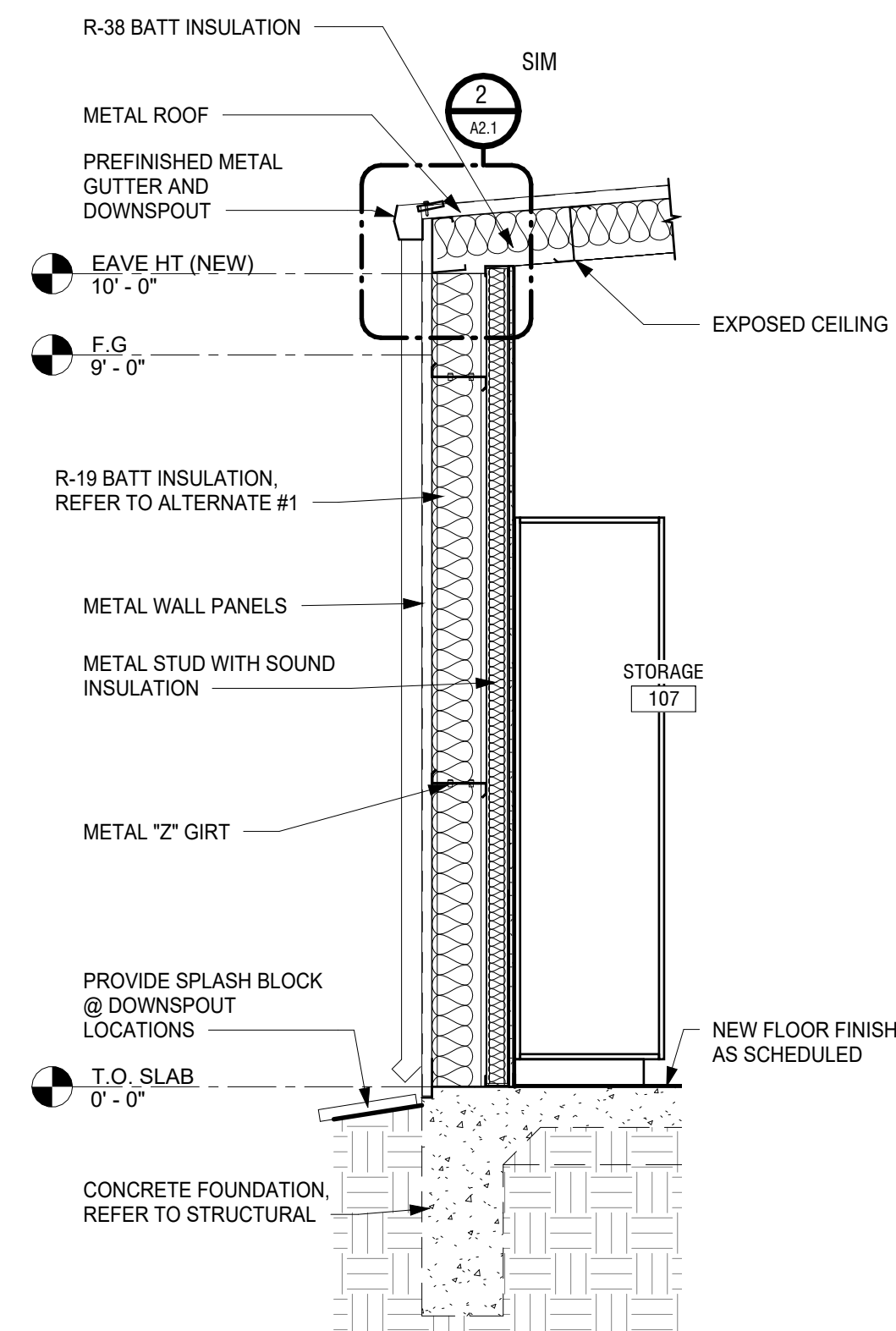
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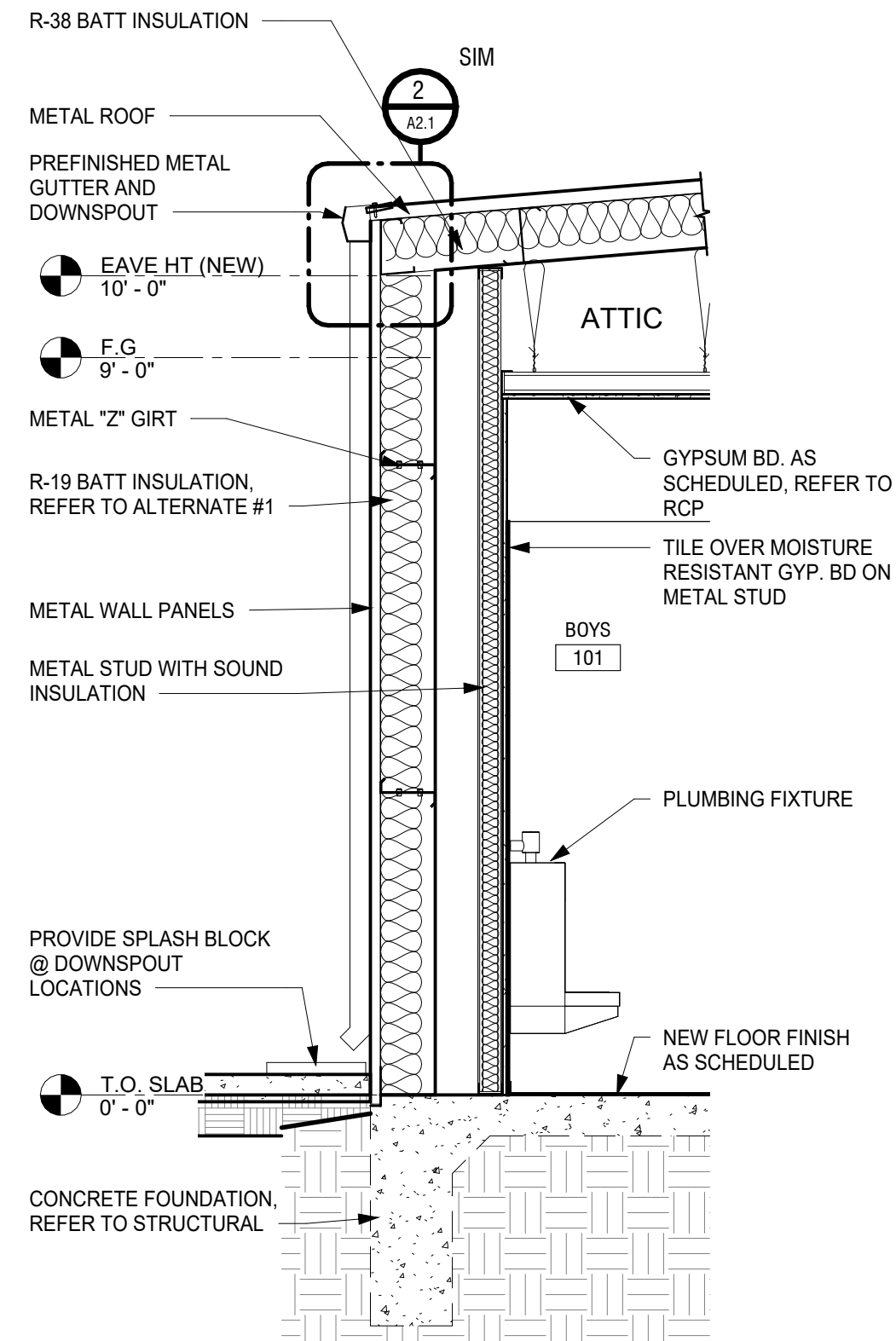
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**WALL
SECTIONS AND
DETAILS**

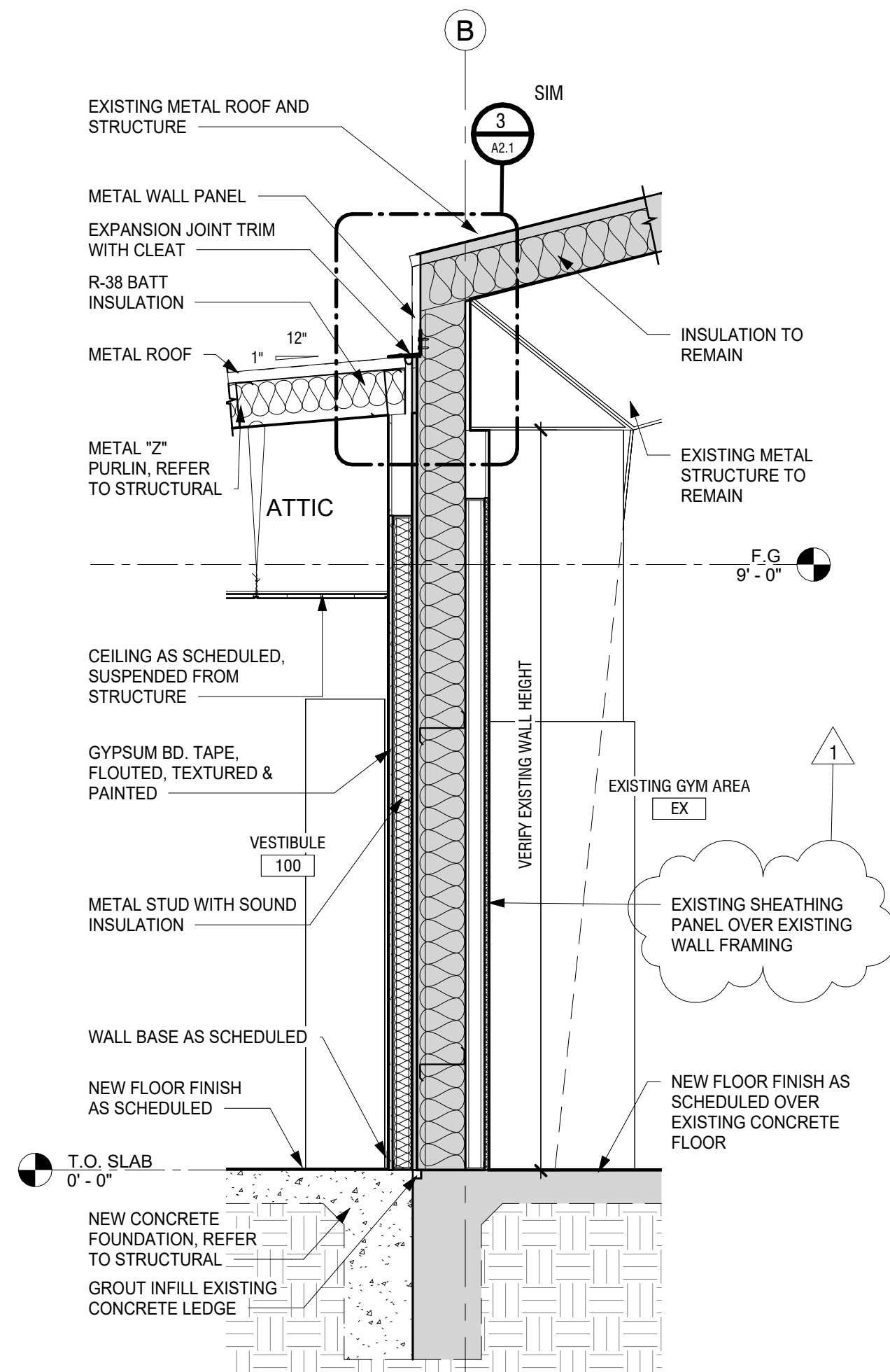
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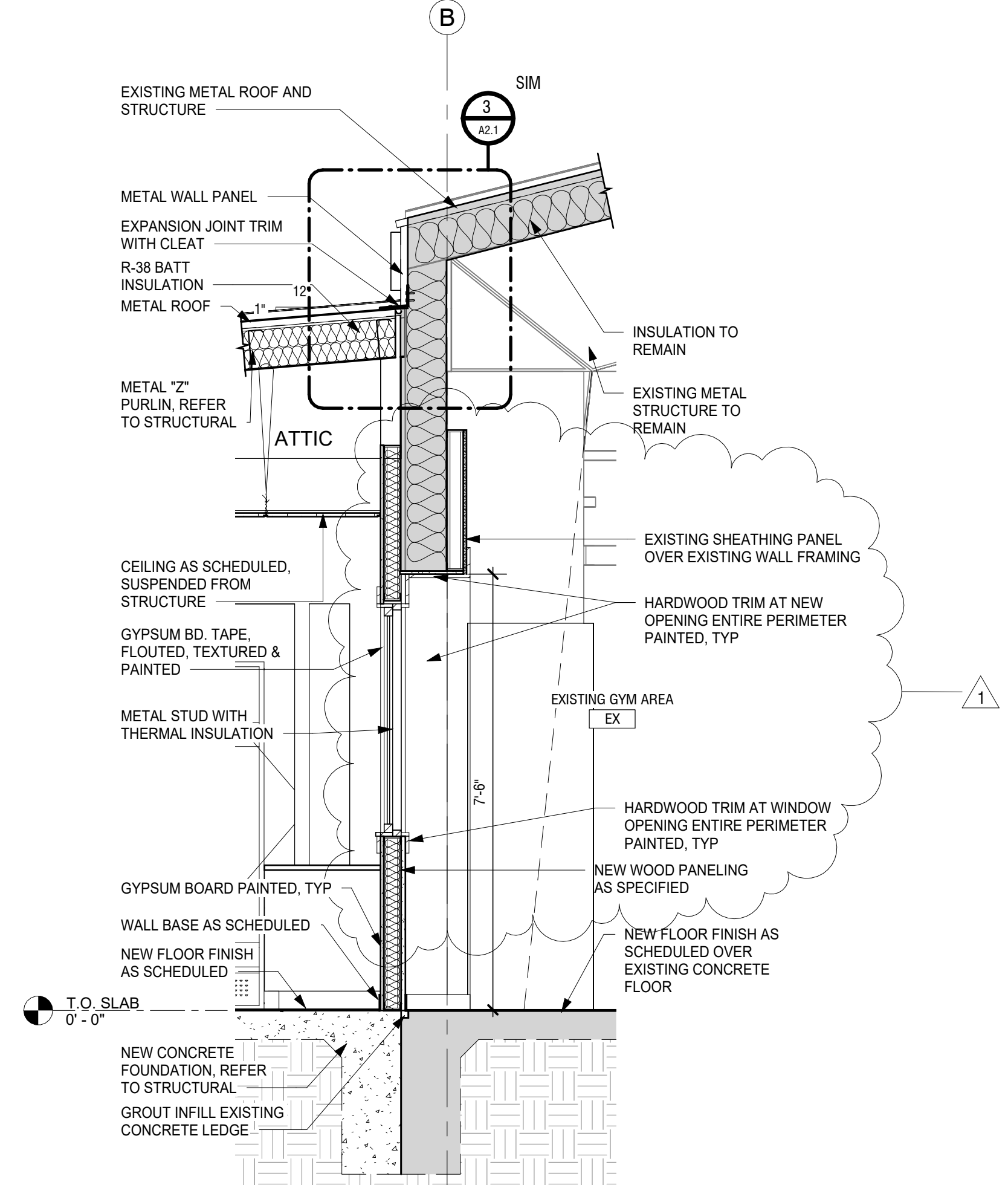
3 WALL SECTION DETAIL - STORAGE
1/2" = 1'-0"



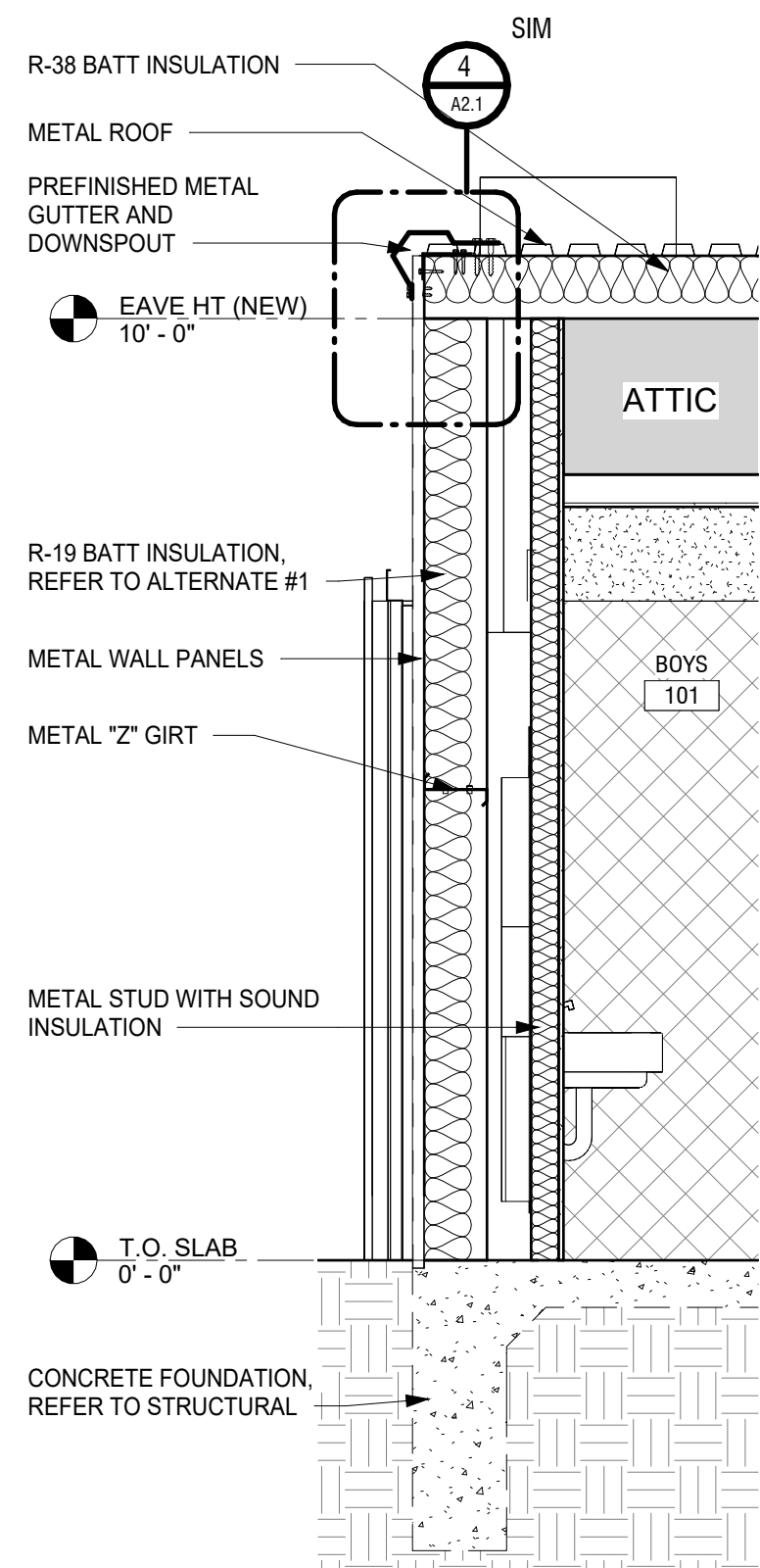
1 WALL SECTION DETAIL - BOYS
1/2" = 1'-0"



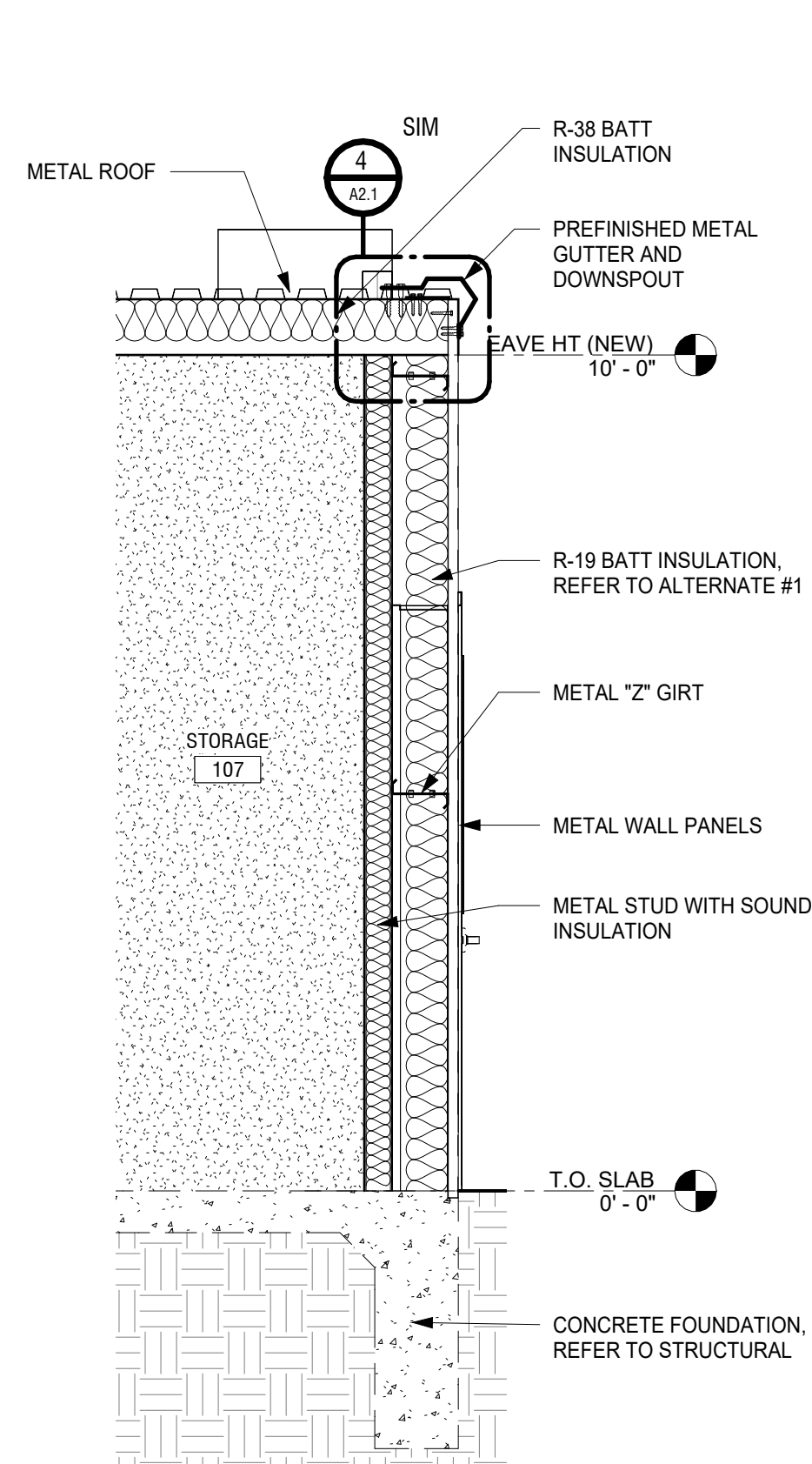
2 WALL SECTION DETAIL - TRANSITION NEW TO EXISTING
1/2" = 1'-0"



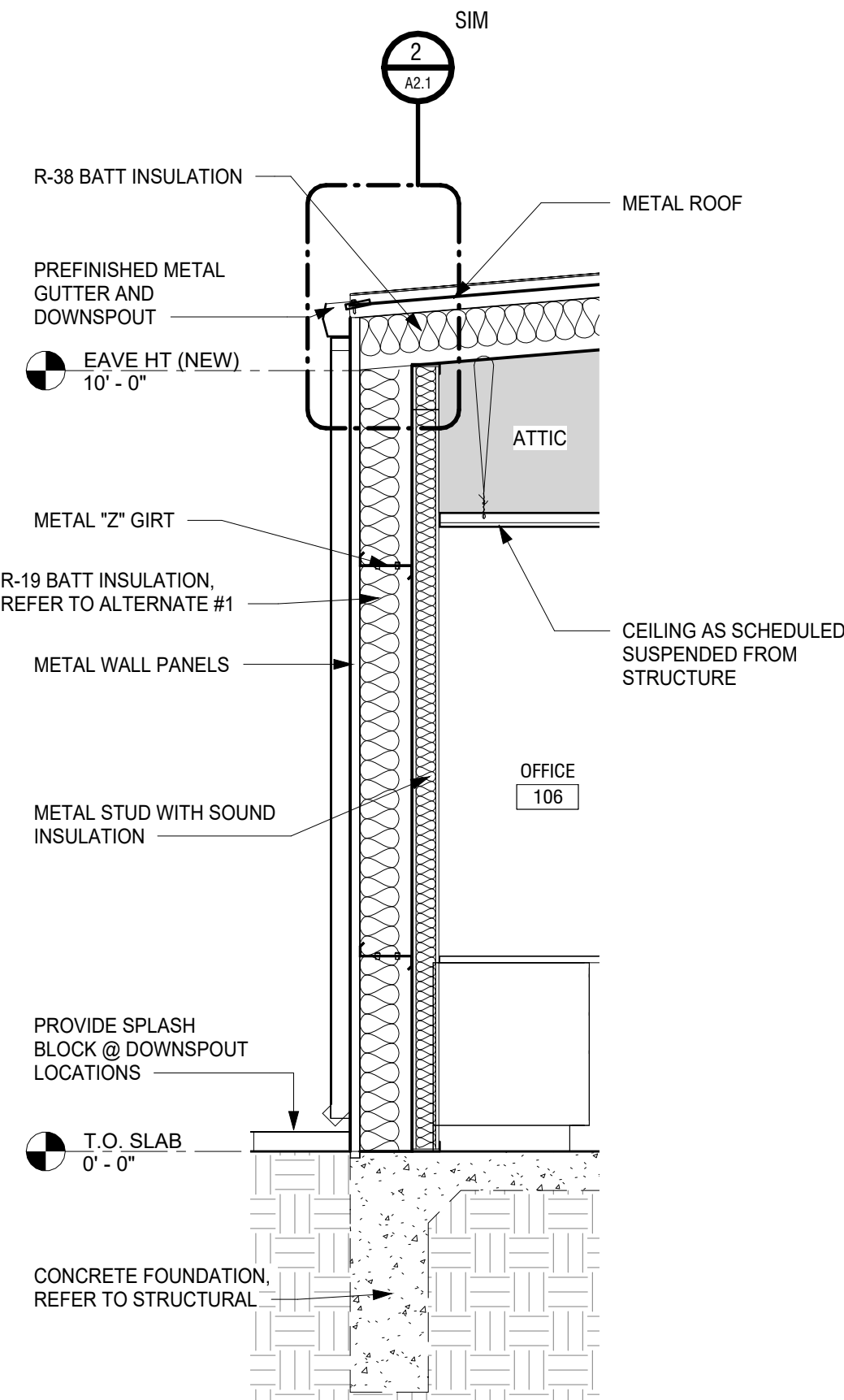
4 WALL SECTION DETAIL - WINDOW
1/2" = 1'-0"



5 Section 3 - Callout 1
1/2" = 1'-0"



6 Section 3 - Callout 2
1/2" = 1'-0"

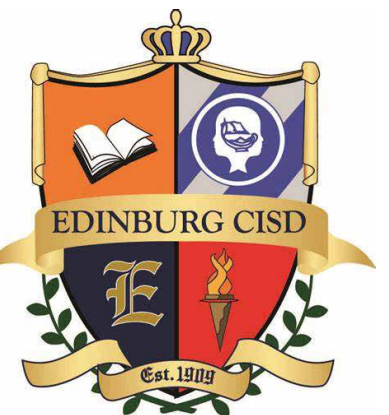
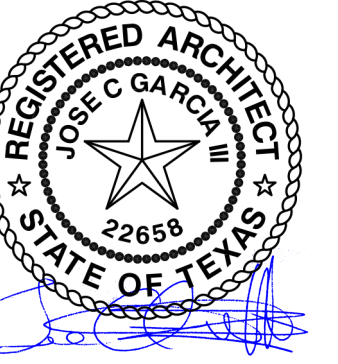


7 Section 4 - Callout 1
1/2" = 1'-0"



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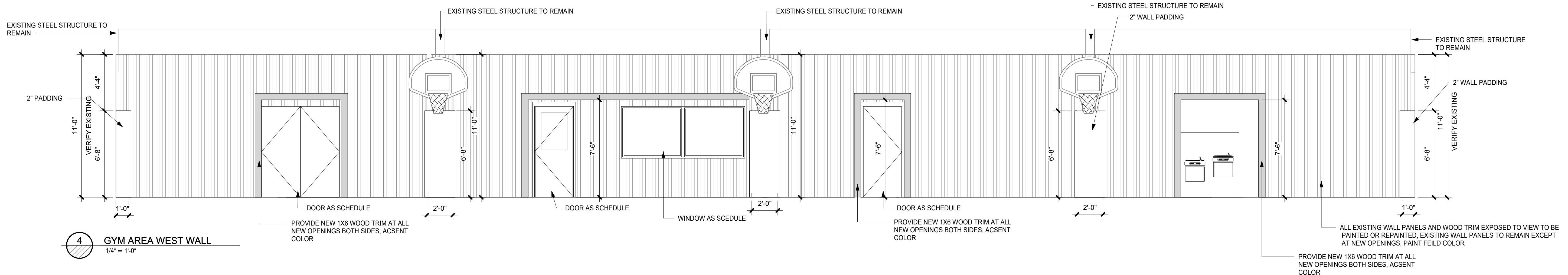
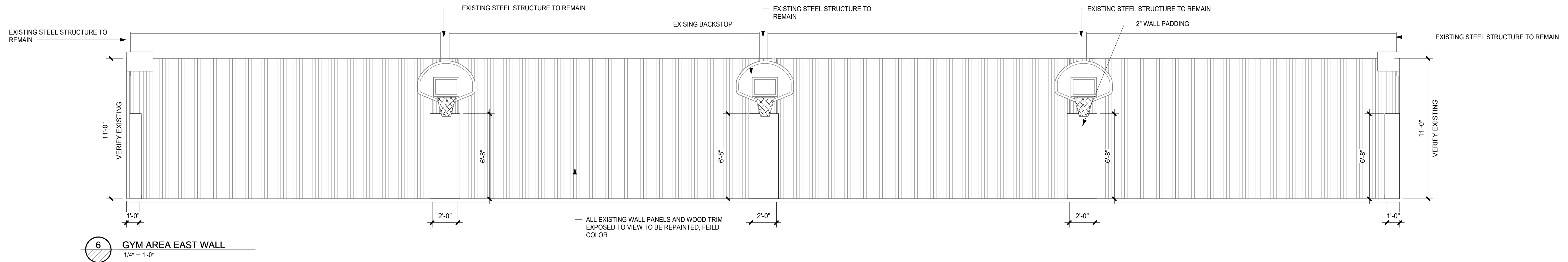
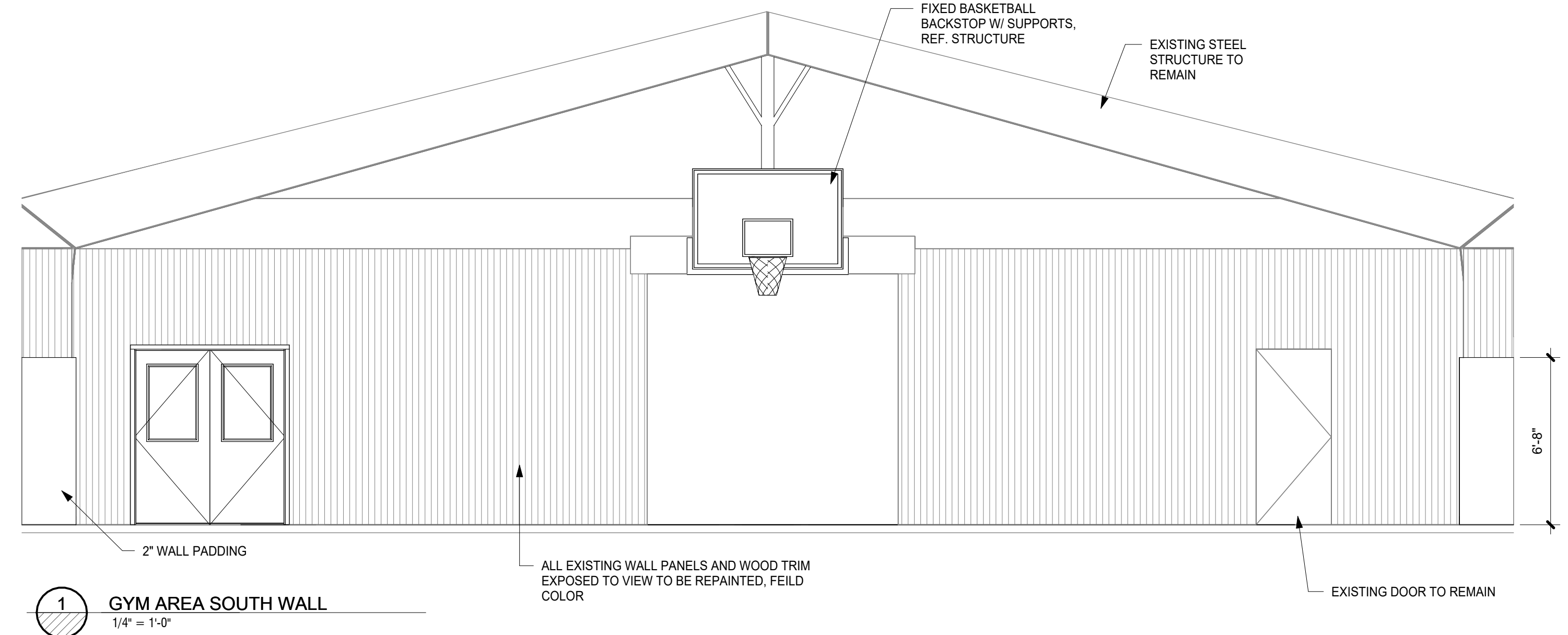
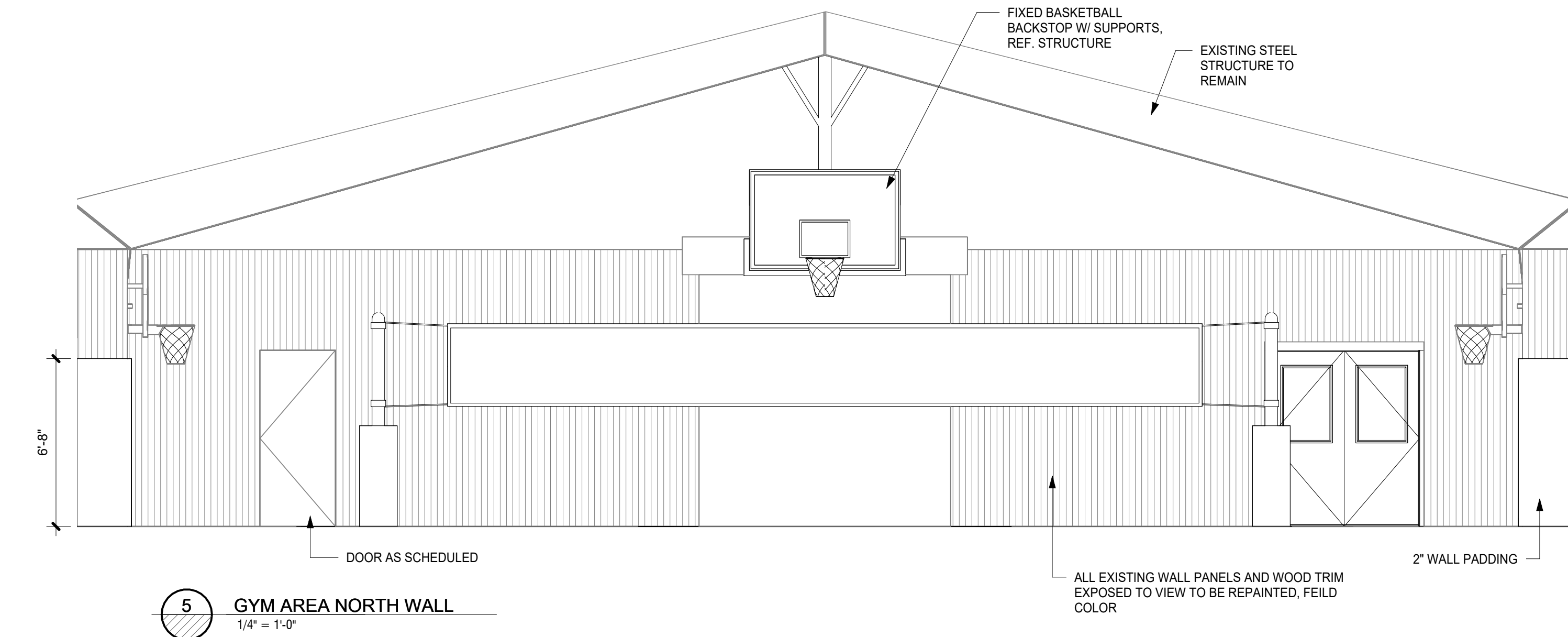
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**INTERIOR
ELEVATIONS**

A5.2





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ADDITION**

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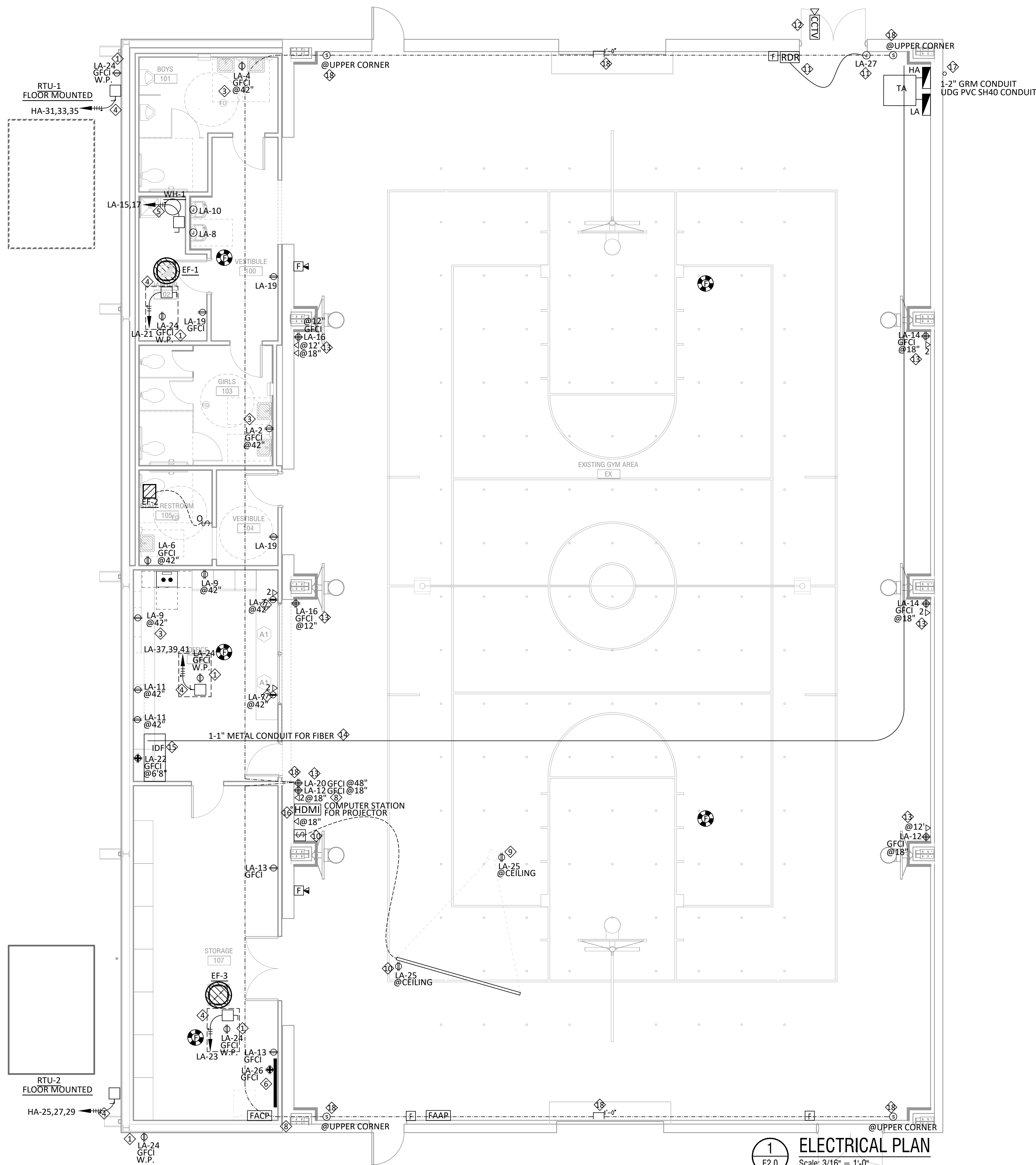
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ELECTRICAL PLAN

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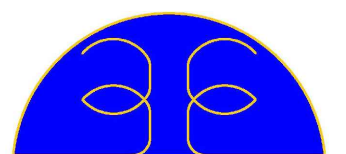
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ELECTRICAL PLAN

Scale: 3/16" = 1'-0"

- A. PROPOSED EQUIPMENT LOAD MIGHT NOT BE ACTUAL EQUIPMENT SELECTED. COORDINATE DIMENSIONS, ELEVATIONS, AND IN ANY CASE OF DISCREPANCIES ASK QUESTIONS TO ENGINEER, ARCHITECT, OR OWNER BEFORE ROUGH IN.
- B. BALANCE LOADS ON ALL THREE PHASES AS MUCH AS POSSIBLE.
- C. RELOCATE CIRCUIT LOADS IN PANEL TO BETTER ARRANGE CONDUITS FOR INSTALLATION.
- D. FIRE ALARM ANNUNCIATOR, CONTROL PANEL, PULL STATIONS AND AUDIBLE AND VISUAL SIGNALS TO BE DONE AND COORDINATED WITH A LICENSE FIRE ALARM SYSTEM INSTALLER. AND FOR THE INSTALLER TO PROVIDE SEALED DRAWINGS BEFORE ACTUAL INSTALLATION. PROPOSED DESIGN ON THESE DRAWINGS IS AN INDICATOR OF THE NEED FOR A FIRE ALARM SYSTEM. CONNECT AND COORDINATE WITH EXISTING SYSTEM HOCHIKI FireNet Plus.
- E. COORDINATE WITH OWNER ON INSTALLATION OF ADEMCO SECURITY ALARM SYSTEM. NEW SECURITY SYSTEM TO BE CONNECTED AND COORDINATED WITH EXISTING SYSTEM.
- F. COORDINATE WITH OWNER ON INSTALLATION OF VALCOM INTERCOM SYSTEM.
- G. ALL RECEPTACLES TO BE TAMPER PROOF.
- H. ADDITIONAL EQUIPMENT LOADS MIGHT BE LOCATED IN EXISTING BUILDING, CONTRACTOR TO INCORPORATE THIS LOADS INTO THE ELECTRICAL PANEL, AND ADDITIONAL CAPACITY IF NEEDED.
- I. CONTRACTOR TO VERIFY THE EXISTING POWER SERVICE TO BE ADEQUATE TO HANDLE THE PROPOSED LOAD. IN THE EVENT THERE IS A NEED OF ADDITIONAL ELECTRICAL EQUIPMENT, WIRES, ETC... CONTRACTOR TO COORDINATE WITH OWNER AND ENGINEERS.

1. A/C UNIT RECEPTACLE FOR MAINTENANCE PURPOSE. COORDINATE ACTUAL LOCATION IN THE FIELD BEFORE ROUGH IN AND TERMINATION. TO BE LOCATED LESS THAN 25 FT FROM UNITS. FOR OUTDOORS, FURNISH AND INSTALL WEATHER PROOF WHILE-IN-USE HOODS EQUAL TO THOMAS AND BETTS RED-DOT CODE KEKOP.
2. ELECTRICAL PANELS, AND LIGHTING CONTACTOR (LC) MOUNTING TO BE COORDINATED IN THE FIELD FOR EXACT LOCATION.
3. RECEPTACLES ABOVE COUNTER TOP OR NEAR SINKS TO BE INSTALLED PER DETAILS, OR TO BE MOUNTED 6 INCHES ABOVE COUNTER TOP OR SINKS. VERIFY WITH ACTUAL FURNITURE.
4. A/C DISCONNECTS ACTUAL LOCATION TO BE COORDINATED IN THE FIELD BEFORE ROUGH IN AND TERMINATION.
5. WATER HEATER DISCONNECT ACTUAL LOCATION TO BE COORDINATED IN THE FIELD BEFORE ROUGH IN AND TERMINATION.
6. COORDINATE COMMUNICATIONS SERVICE FOR THIS AREA, CONNECTED TO MAIN OFFICE COMMUNICATIONS.
7. ALL DATA AND PHONE WIRES TO BE INSTALLED FROM ALLOCATED COMMUNICATIONS AREA TO THE DATA AND PHONE RECEPTACLES INDICATED IN PLANS. COORDINATE WITH OWNER, ARCHITECT AND ENGINEER FOR ANY QUESTIONS BEFORE ROUGH IN AND TERMINATION.
8. RECEPTACLE, DATA AND HDMI CONNECTIONS TO PROJECTOR. ROUTE 2" CONDUIT FOR DATA AND HDMI WIRING CONNECTIONS. ACTUAL LOCATION TO BE FIELD COORDINATED WITH OWNER.
9. CEILING RECEPTACLE FOR PROJECTOR.
10. UP-STOP-DOWN SWITCH TO LOWER AND RISE PROJECTOR SCREEN. SWITCHED TO BE ENCLOSED WITH A HEAVY DUTY KEY ACCESS ENCLOSURE. ACTUAL POWER REQUIREMENTS PER ACTUAL SCREEN SELECTION.
11. ELECTRIC STRIKE WITH REMOTE DOOR RELEASE, ACTUAL LOCATION TO BE FIELD COORDINATED.
12. CCTV CAMERA PROPOSED LOCATION, ACTUAL INSTALLATION TO BE PERFORMED BY A LICENSED CAMERA INSTALLER.
13. GYM AREA RECEPTACLES TO BE LOCATED NEAR THE COLUMNS TO PREVENT GETTING DAMAGED BY BASKET BALLS. USE OF HEAVY DUTY COVERS.
14. 1'-1" CONDUIT LOCATED ABOVE CEILING GRID FOR FIBER OPTIC CABLE. CONDUIT WILL RUN THE LENGTH OF THE BUILDING AND WILL BE SPLICED INTO EXISTING 1" CONDUIT LOCATED OUTSIDE THE BUILDING ABOVE COVERED WALKWAY. ACTUAL LOCATION TO BE FIELD VERIFIED.
15. IDF TO BE MOUNTED AT A MINIMUM HEIGHT OF 6'. 1' -AWAY FROM THE WALL. IDF ELECTRICAL DUPLEX OUTLET TO BE MOUNTED AT 68" HEIGHT AND 2" FROM THE WALL. COORDINATE WITH OWNER BEFORE ROUGH IN.
16. LOCATION OF A 2" CONDUIT STUBBED OUT ABOVE CEILING GRID OR WHERE ACCESS WILL BE AVAILABLE FOR AUDIO VISUAL VENDOR TO RUN VIDEO CONNECTIONS (RAPID RUN CABLE) FOR PROJECTOR.
17. INSTALL A 2" CONDUIT TO COMMUNICATE THE GYM TO THE EXISTING MAIN BUILDING. RUN CONDUIT ALONG THE WALLS FOR EACH BUILDING AND GO UNDERGROUND PER DETAIL EM003 BETWEEN BUILDINGS. REFER TO DETAIL EM011 FOR CONDUIT MATERIALS AND OVERLAPPING TAPE.
18. INSTALL 3/4" METAL CONDUIT FOR SPEAKERS, LEAVE A 1' GAP IN THE MIDDLE AS INDICATED. COORDINATE WITH OWNER FOR ACTUAL ELEVATION AND CONDUIT LOCATION. THE 1' GAP AS REQUESTED BY OWNER IT DEPARTMENT.



EED ENGINEERING, INC.
T.B.P.E. FIRM REGISTRATION #12716

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